

**SPECIAL AGENDA  
CITY OF FERNDALE - HUMBOLDT COUNTY U.S.A.  
DESIGN REVIEW COMMITTEE MEETING**

**Location** VIA ZOOM CONFERENCE **Date:** June 25, 2020  
**Time:** 8:30 am

This meeting is being held in accordance with the Brown Act as currently in effect under the State Emergency Services Act, the Governor’s Emergency Declaration related to COVID-19, and the Governor’s Executive Order N-29-20 issued on March 17, 2020 that allows attendance by members of the Committees, City staff, and the public by teleconference, videoconference, or both.

We are strongly recommending that public comments for this meeting be submitted prior to the meeting. Public comments should be submitted to [cityclerk@ci.ferndale.ca.us](mailto:cityclerk@ci.ferndale.ca.us) by 4:00pm on Wednesday, June 24, 2020, please be sure to put “Public Comment “in the subject line, and include the agenda item if applicable. All public comments received by 4pm will be read into the record (limit to 5 minutes) during the regular meeting.

To provide public comment during the meeting, you will need to join the Teleconference meeting.

Join Zoom Meeting

<https://us02web.zoom.us/j/83955247083?pwd=M21QUmdlYjFiQi9hWmdBVTk3R3M1UT09>

Or go to Zoom.us and input the following information when prompted

Meeting ID: 839 5524 7083

Password: 314802

Or for telephone only access:

Dial by your location

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

Input the following when prompted

Meeting ID: 839 5524 7083

Password: 314802

Find your local number: <https://us02web.zoom.us/j/kmLoBYMbo>

1. CALL MEETING TO ORDER – CITY CLERK WILL DO ROLL CALL
2. MODIFICATIONS TO THE AGENDA
3. APPROVAL OF PREVIOUS MINUTES
4. PUBLIC COMMENT. (This time is for persons who wish to address the Committee on any matter not on this agenda and over which the Committee has jurisdiction).
5. BUSINESS
  - A. Minutes of the June 4, 2020 Design Review Meeting..... Page 3
  - A. 362 Berding St (Small Window)..... Page 5
  - B. 845 Main St (Paint)..... Page 10
  - C. 665 Main (Utility Shed, Dollhouse Placement) ..... Page 15
6. CORRESPONDENCE ..... Page 56
7. COMMITTEE MEMBER COMMENTS
8. ADJOURN

**This notice is posted in compliance with Government Code §54954.2.  
The next Regular Meeting of the Ferndale City Design Review Committee  
will be AS NEEDED DURING COVID-19 PANDEMIC**

**CALL MEETING TO ORDER**

**MODIFICATION TO THE AGENDA**

**APPROVAL OF PREVIOUS MINUTES**

**City of Ferndale, Humboldt County, California USA**  
Design Review Minutes for the 06/04/2020 Agenda - 8:30am meeting

Vice-Chair Marc Daniels opened the teleconference meeting at 8:34 a.m. Committee Members Ellin Beltz, and Jorgen von Frausing-Borch were present along with City Clerk Kristene Hall. Chair Jeff Farley joined the meeting at 8:40 am.

Modifications to the Agenda: None

Approval of Previous Minutes: Approval of the April 30, 2020 Meeting Minutes. **(von Frausing-Borch/Beltz) Unanimous**

Public Comments: No Comment

362 Berding Street: Committee Members were presented with an application to repaint the residence. The applicant was present to answer questions. Committee Members stated the proposed paint looked good. The applicant stated that she would like to include the barn to be painted as well using the same color pattern. **MOTION:** to **APPROVE** the Design Review Use Permit Application, subject to the conditions of approval listed in Attachment B, to repaint the residence and barn using the approved colors. **(von Frausing-Borch/Beltz) Unanimous**

475 Berding Street: Committee Members were presented with an application to construct a new front fence and replace a dilapidated side and rear fence. The applicant was present to answer questions. Committee Member von Frausing-Borch questioned the materials being used. The applicant stated the fence would be douglas fir posts and cedar planks. Committee member Beltz stated concerns on the moss green color and asked the applicant if he could submit a paint swatch. Beltz added that moss green may not be harmonious with the surrounding area. Committee Member Daniels stated concerns over an easement on the property. The applicant stated he had included the easement on the drawings and had went around it. City Clerk Hall stated the private easements were the property owner's responsibility and they would be responsible for ensuring any easement is maintained. Committee Members von Frausing-Borch and Farley were in favor of the moss green. **MOTION:** to **APPROVE** the Design Review Use Permit Application, subject to the conditions of approval listed in Attachment B, to replace and construct the fence using the approved materials and dimensions as stated in the application, and to submit a color swatch to the City Clerk before painting. **(von Frausing-Borch/Farley) Unanimous**

Correspondence: None

Committee Member Comments: Committee Member von Frausing-Borch stated his desire to get back to normal meetings. Committee Member Beltz stated her concerns on COVID19.

Meeting adjourned at 9:04 am

Respectfully submitted,

Kristene Hall  
City Clerk

**PUBLIC COMMENT**

**BUSINESS**

Meeting Date:	June 25, 2020	Agenda Item Number	5.a
Agenda Item Title	362 Berding Street		
Presented By:	Staff		
Type of Item:	<input checked="" type="checkbox"/> Action	<input type="checkbox"/> Discussion	<input type="checkbox"/> Information
Action Required:	<input type="checkbox"/> No Action	<input checked="" type="checkbox"/> Voice Vote	<input type="checkbox"/> Roll Call Vote

**PROJECT DESCRIPTION:** Request for a Design Review Use Permit to install a small window at 362 Berding Street (031-094-007).

**RECOMMENDATION:** Staff has included findings of fact (Attachment A) necessary to take an action on the Design Review Use Permit. If the Design Review Committee accepts the findings of fact or makes comparable findings, then staff recommends the Committee approve the Design Review Use Permit, subject to the conditions of approval listed in Attachment B.

**RECOMMENDED MOTION:** “Make the required findings of fact listed in Attachment A to approve the Design Review Use Permit, subject to the conditions of approval listed in Attachment B, to install a small window using the approved materials and specifications as presented in the application.”

**ATTACHMENTS:** Application, photos, Findings of Fact, and Conditions of Approval

**Attachment A  
FINDINGS OF FACT**

The following findings of fact are required for approving the Design Review Use Permit.

1. The proposed design, materials, and colors are visually harmonious with and conceptually consistent in character and scale with surrounding area.
2. The existing project, as outlined and with conditions:
  - Conforms to and is consistent with the Ferndale General Plan;
  - Does not impair the natural beauty of the town's site and setting; and
  - Will not be unsightly, obnoxious or undesirable in appearance to the extent that it will hinder the harmonious development of the zone, impair the desirability of the zone for the uses permitted therein, or limit the opportunity to attain optimum use and value of the land and improvements or otherwise adversely affect the general property and welfare.

**Attachment B  
CONDITIONS OF APPROVAL**

Staff recommends Design Review Use Permit approval be subject to the following conditions. The violation of any term or requirement of this conditional approval may result in the revocation of the permit.

1. The applicant shall be responsible to pay all applicable fees, deposits or charges associated with processing and finalizing the Design Review Use Permit, and/or otherwise owed to the City of Ferndale. All applicable or other required fees shall be paid to the satisfaction of the City of Ferndale before the Permit and uses allowed are considered final and approved.
2. All proposed work shall be in conformance with the approved permit application and with the information and analysis contained in the associated staff report and conditions of approval on file with the City. Should the work deviate from that as allowed by this approval, then the applicant may be required to first receive Design Review Committee approval for such changes.
3. Should the applicant or any other future owner of the subject property not conform to the requirements of these conditions, then said non-conformance shall constitute a violation of this Design Review Use Permit and shall become null and void until either all the issues have been addressed to the satisfaction of the City, or the permit is revoked.
4. All proposed and/or future development, improvements, and construction authorized hereunder shall be in conformance with all applicable City ordinances, regulations and codes, including but not limited to Zoning Ordinance 02-02, including the Design Review requirements, the Uniform Building Code, any Fire Codes and/or Public Health & Safety Code, applicable to the nature and type of proposed use and/or construction. A City building permit is required for any construction associated with the proposed project with the burden on the applicant to comply.

Please provide the following information as it applies to your application. For questions, call 786-4224.

1. Type of Application

Date: \_\_\_\_\_

	Bed & Breakfast Inn
X	Design Review Use Permit
	Exception to Development Standards
	Home Occupation Permit
	Lot Line Adjustment
	Merger

	Major Subdivision (5 parcels or more)
	Minor Subdivision (4 parcels or less)
	Second Dwelling Unit
	Use Permit
	Variance
	Zoning & General Plan Amendment

2. Name of Property Owner: Francesca & Craig Bestwick

Address: 362 Berding St Ferndale

3. Name of Applicant (if different): \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

4. Property Location: 362 Berding St Ferndale

Assessor Parcel Number(s): \_\_\_\_\_

Description: \_\_\_\_\_

Lot Area: \_\_\_\_\_

5. Present Use of Property: \_\_\_\_\_

Present Zoning: \_\_\_\_\_

6. Description of Proposed Project: adding a window for bathroom 18x24 (second story)

Filing Fee: A filing fee of \$ \_\_\_\_\_ has been paid as part of the application. (Refer to Resolution 00-21 for fees and charges for review and processing of development permits.) I hereby certify that to the best of my knowledge the information in this application and all attached exhibits is full, complete and correct, and I understand that any misstatement of omission of the requested information or of any information subsequently requested shall be grounds for denying the application, or suspending or revoking a permit issued on the basis of these of subsequent representations, or for the seeking of such other and further relief as may seem proper to the City.

Francesca Bestwick  
Signature of Applicant or Agent

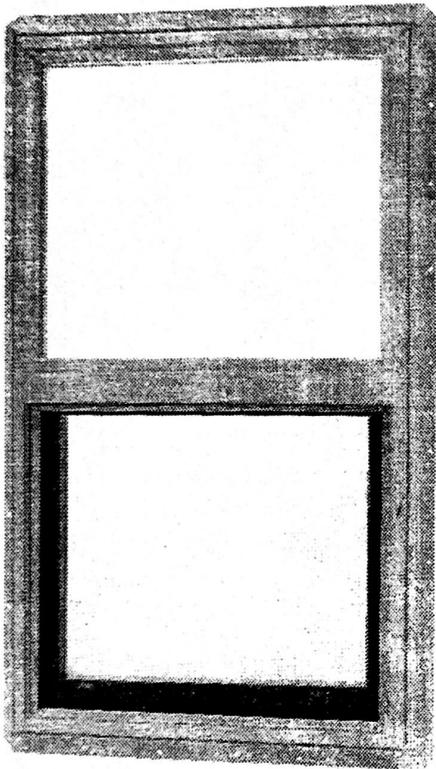
June 17, 2020  
Date

Authorization of Agent: I hereby authorize \_\_\_\_\_ to act as my representative and bind me in all matters concerning this application.

(Form 121106)

FOR STAFF USE ONLY

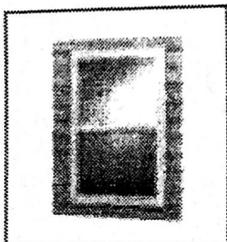
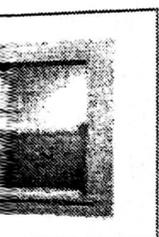
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**Project Source 20000 Vinyl**  
New Construction White Exterior  
Single Hung Window (Rough  
Opening: 18-in x 24-in; Actual:  
17.5-in x 23.5-in)

Item #4381 Model #VSH1824

The Project Source vinyl utility  
single hung window with single...  
Durable, vinyl frame features  
welded seams for added reliability.  
Bottom sash tilts in for easy  
cleaning from inside your home.



Qty



small window will be centered

Meeting Date:	June 25, 2020	Agenda Item Number	5.b
Agenda Item Title	845 Main Street		
Presented By:	Staff		
Type of Item:	<input checked="" type="checkbox"/> Action	<input type="checkbox"/> Discussion	<input type="checkbox"/> Information
Action Required:	<input type="checkbox"/> No Action	<input checked="" type="checkbox"/> Voice Vote	<input type="checkbox"/> Roll Call Vote

**PROJECT DESCRIPTION:** Request for a Design Review Use Permit to repaint residence at 845 Main Street (030-143-005).

**RECOMMENDATION:** Staff has included findings of fact (Attachment A) necessary to take an action on the Design Review Use Permit. If the Design Review Committee accepts the findings of fact or makes comparable findings, then staff recommends the Committee approve the Design Review Use Permit, subject to the conditions of approval listed in Attachment B.

**RECOMMENDED MOTION:** “Make the required findings of fact listed in Attachment A to approve the Design Review Use Permit, subject to the conditions of approval listed in Attachment B, to repaint the residence at 845 Main Street using the approved paint colors and specifications as presented in the application.”

**ATTACHMENTS:** Application, photo, paint colors, Findings of Fact, and Conditions of Approval

**Attachment A  
FINDINGS OF FACT**

The following findings of fact are required for approving the Design Review Use Permit.

1. The proposed design, materials, and colors are visually harmonious with and conceptually consistent in character and scale with surrounding area.
2. The existing project, as outlined and with conditions:
  - Conforms to and is consistent with the Ferndale General Plan;
  - Does not impair the natural beauty of the town's site and setting; and
  - Will not be unsightly, obnoxious or undesirable in appearance to the extent that it will hinder the harmonious development of the zone, impair the desirability of the zone for the uses permitted therein, or limit the opportunity to attain optimum use and value of the land and improvements or otherwise adversely affect the general property and welfare.

**Attachment B  
CONDITIONS OF APPROVAL**

Staff recommends Design Review Use Permit approval be subject to the following conditions. The violation of any term or requirement of this conditional approval may result in the revocation of the permit.

1. The applicant shall be responsible to pay all applicable fees, deposits or charges associated with processing and finalizing the Design Review Use Permit, and/or otherwise owed to the City of Ferndale. All applicable or other required fees shall be paid to the satisfaction of the City of Ferndale before the Permit and uses allowed are considered final and approved.
2. All proposed work shall be in conformance with the approved permit application and with the information and analysis contained in the associated staff report and conditions of approval on file with the City. Should the work deviate from that as allowed by this approval, then the applicant may be required to first receive Design Review Committee approval for such changes.
3. Should the applicant or any other future owner of the subject property not conform to the requirements of these conditions, then said non-conformance shall constitute a violation of this Design Review Use Permit and shall become null and void until either all the issues have been addressed to the satisfaction of the City, or the permit is revoked.
4. All proposed and/or future development, improvements, and construction authorized hereunder shall be in conformance with all applicable City ordinances, regulations and codes, including but not limited to Zoning Ordinance 02-02, including the Design Review requirements, the Uniform Building Code, any Fire Codes and/or Public Health & Safety Code, applicable to the nature and type of proposed use and/or construction. A City building permit is required for any construction associated with the proposed project with the burden on the applicant to comply.

CITY OF FERNDALE  
PLANNING DEPARTMENT

STANDARD APPLICATION FORM

Please provide the following information as it applies to your application. For questions, call 786-4224.

1. Type of Application Date: 6-17-2020

<input type="checkbox"/>	Bed & Breakfast Inn	<input type="checkbox"/>	Minor Subdivision (4 parcels or less)
<input type="checkbox"/>	Exception to Development Standards	<input type="checkbox"/>	Second Dwelling Unit
<input type="checkbox"/>	Historic District Design Review	<input type="checkbox"/>	Street Vacate
<input type="checkbox"/>	Home Occupation Permit	<input type="checkbox"/>	Use Permit
<input type="checkbox"/>	Lot Line Adjustment	<input checked="" type="checkbox"/>	Use Permit – Design Review
<input type="checkbox"/>	Merger	<input type="checkbox"/>	Variance
<input type="checkbox"/>	Major Subdivision (5 parcels or more)	<input type="checkbox"/>	Zoning & General Plan Amendment

2. Name of Property Owner: Judy Etwell Phone: 786-4251  
Address: 845 Main POBox 524

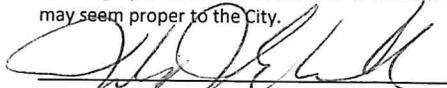
3. Name of Applicant (if different): \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: \_\_\_\_\_

4. Property Location: 845 Main St.  
Accessor Parcel Number(s): \_\_\_\_\_  
Description: Single Family Home  
Lot Area: \_\_\_\_\_

5. Present Use of Property: Residential  
Present Zoning: \_\_\_\_\_

6. Description of Proposed Project: Paint House A  
Silver Fox color w/ white trim

Filing Fee: A filing fee of \$ \_\_\_\_\_ has been paid as part of the application. (Refer to Resolution 00-21 for fees and charges for review and processing of development permits.) I hereby certify that to the best of my knowledge the information in this application and all attached exhibits is full, complete and correct, and I understand that any misstatement or omission of the requested information or of any information subsequently requested shall be grounds for denying the application, or suspending or revoking a permit issued on the basis of these of subsequent representations, or for the seeking of such other and further relief as may seem proper to the City.

  
Signature of Applicant or Agent

6-17-2020  
Date

Authorization of Agent: I hereby authorize \_\_\_\_\_ to act as my representative and bind me in all matters concerning this application. (Form 100208)

FOR STAFF USE ONLY							
Full Ap Rec'd		Sent to DR		Returned		Ap notified	Project Final



has a light  
violet ting in sun



Paint  
Silver  
Fet  
Body  
White  
Trim

Meeting Date:	June 25, 2020	Agenda Item Number	5.c
Agenda Item Title	665 Main Street		
Presented By:	Julian Berg and/or Staff		
Type of Item:	<input checked="" type="checkbox"/> Action	<input type="checkbox"/> Discussion	<input type="checkbox"/> Information
Action Required:	<input type="checkbox"/> No Action	<input checked="" type="checkbox"/> Voice Vote	<input type="checkbox"/> Roll Call Vote

**PROJECT DESCRIPTION:** Request for a Design Review Use Permit to construct an Entry Gate, Fencing, Solar PV System, Dollhouse Placement, & Utility Shed to create an interpretive garden at 665 Main Street (031-132-021).

**RECOMMENDATION:** Staff has included findings of fact (Attachment A) necessary to take an action on the Design Review Use Permit. If the Design Review Committee accepts the findings of fact or makes comparable findings, then staff recommends the Committee approve the Design Review Use Permit, subject to the conditions of approval listed in Attachment B.

**RECOMMENDED MOTION:** “Make the required findings of fact listed in Attachment A to approve the Design Review Use Permit, subject to the conditions of approval listed in Attachment B, to construct an entry gate, fencing, solar pv system, utility shed and place the dollhouse using the approved materials and specifications as presented in the application and plans.”

**ATTACHMENTS:** Application, photos, plans, Findings of Fact, and Conditions of Approval

**Attachment A  
FINDINGS OF FACT**

The following findings of fact are required for approving the Design Review Use Permit.

1. The proposed design, materials, and colors are visually harmonious with and conceptually consistent in character and scale with surrounding area.
2. The existing project, as outlined and with conditions:
  - Conforms to and is consistent with the Ferndale General Plan;
  - Does not impair the natural beauty of the town's site and setting; and
  - Will not be unsightly, obnoxious or undesirable in appearance to the extent that it will hinder the harmonious development of the zone, impair the desirability of the zone for the uses permitted therein, or limit the opportunity to attain optimum use and value of the land and improvements or otherwise adversely affect the general property and welfare.

**Attachment B  
CONDITIONS OF APPROVAL**

Staff recommends Design Review Use Permit approval be subject to the following conditions. The violation of any term or requirement of this conditional approval may result in the revocation of the permit.

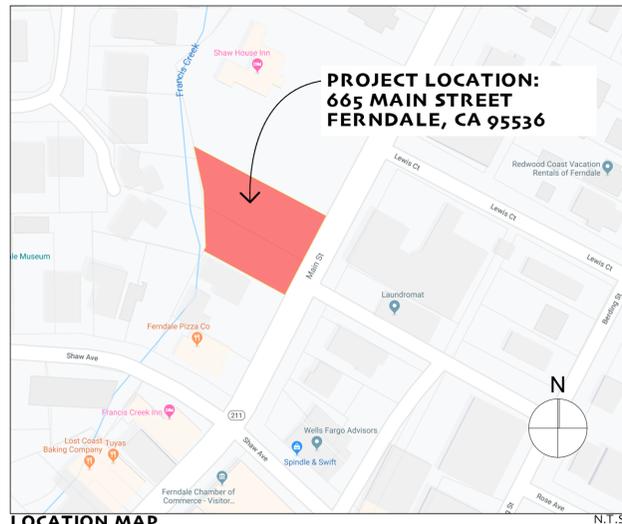
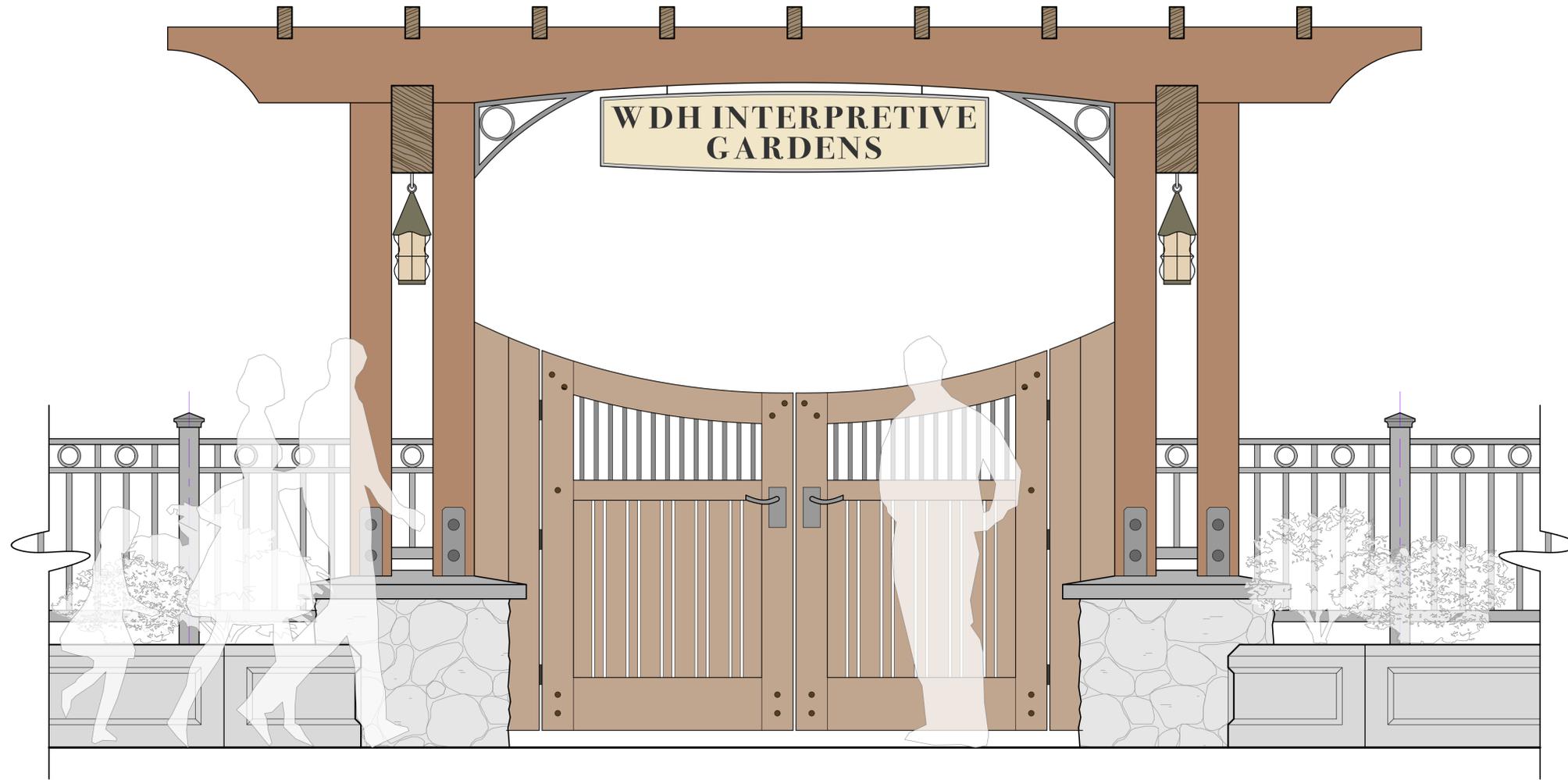
1. The applicant shall be responsible to pay all applicable fees, deposits or charges associated with processing and finalizing the Design Review Use Permit, and/or otherwise owed to the City of Ferndale. All applicable or other required fees shall be paid to the satisfaction of the City of Ferndale before the Permit and uses allowed are considered final and approved.
2. All proposed work shall be in conformance with the approved permit application and with the information and analysis contained in the associated staff report and conditions of approval on file with the City. Should the work deviate from that as allowed by this approval, then the applicant may be required to first receive Design Review Committee approval for such changes.
3. Should the applicant or any other future owner of the subject property not conform to the requirements of these conditions, then said non-conformance shall constitute a violation of this Design Review Use Permit and shall become null and void until either all the issues have been addressed to the satisfaction of the City, or the permit is revoked.
4. All proposed and/or future development, improvements, and construction authorized hereunder shall be in conformance with all applicable City ordinances, regulations and codes, including but not limited to Zoning Ordinance 02-02, including the Design Review requirements, the Uniform Building Code, any Fire Codes and/or Public Health & Safety Code, applicable to the nature and type of proposed use and/or construction. A City building permit is required for any construction associated with the proposed project with the burden on the applicant to comply.



REUSE OF DOCUMENTS: This document and the ideas and design incorporated herein, as an instrument of professional service, is the property of JULIAN BERG DESIGNS and shall not be reused in whole or part for any other project without JULIAN BERG DESIGNS written authorization.

**ABBREVIATIONS:**

- A.B. ANCHOR BOLT
- ACCESS. ACCESSIBLE
- ARCH. ARCHITECTURAL
- ASPH. ASPHALT
- @ AT
- BM BEAM
- BLDG. BUILDING
- CL CENTER LINE
- CLR. CLEAR
- CONT. CONTINUOUS
- CONSTR. CONSTRUCTION
- CTR. CENTER
- DBL DOUBLE
- DIM. DIMENSION
- D.F. DOUGLAS FIR
- DN. DOWN
- D.S. DOWN SPOUT
- DWG. DRAWING(S)
- (E) EXISTING
- EA EACH
- ELEC. ELECTRICAL
- ELEV. ELEVATION
- E.N. EDGE NAIL
- EQ. EQUAL
- EQUIP. EQUIPMENT
- EXH. EXHAUST
- EXIST. EXISTING
- EXT. EXTERIOR
- EXP. EXPOSED
- EXP. AGG. EXPOSED AGGREGATE
- FIN. FINISH
- FL. FLOOR
- F.O.S. FACE OF STUD
- FOUND. FOUNDATION
- FRMG. FRAMING
- F.R.P. FIBERGLASS REINFORCED PLASTIC PANELS
- GAL. GALVANIZED
- G.B. GRAB BAR
- G.D. GARBAGE DISPOSAL
- GLB GLUE LAM BEAM
- GYP. BD. GYPSUM BOARD
- G.R. GRADE
- H.B. HOSE BIB
- H.C. HOLLOW CORE
- HDWD. HARDWOOD
- HOL. MTL. HOLLOW METAL
- HT. HEIGHT
- H.V.A.C. HEATING, VENTILATION, & AIR CONDITIONING
- H.W.H. HOT WATER HEATER
- INCL. INCLUDED
- INFO. INFORMATION
- INSUL. INSULATION
- INT. INTERIOR
- JST. JOIST
- JUNC. JUNCTION
- LN. LINEN
- LOUV. LOUVER (ED)
- LTG. LIGHTING
- MANUF. MANUFACTURER
- MAS. MASONRY
- MAX. MAXIMUM
- M.B. MACHINE BOLT
- M.C. MEDICINE CABINET
- MECH. MECHANICAL
- MIN. MINIMUM
- MULL. MULLION
- (N) NEW
- N.I.C. NOT IN CONTRACT
- N.T.S. NOT TO SCALE
- NON-COMB. NON-COMBUSTIBLE
- O.C. ON CENTER
- O.D. OUTSIDE DIAMETER
- PLY. PLYWOOD
- PL PROPERTY LINE
- REQD. REQUIRED
- REF. REFRIGERATOR
- REG. REGISTER
- REINF. REINFORCED
- RWD. REDWOOD
- SECT. SECTION
- SQ. SQUARE
- S.S. STAINLESS STEEL
- STRUCT. STRUCTURAL
- TEMP. TEMPERED
- T&B TOP & BOTTOM
- T.S. TUBE STEEL
- TYP. TYPICAL
- U.N.O. UNLESS NOTED OTHERWISE
- W.C. WATER CLOSET
- W/ WITH
- W.D. WOOD



LOCATION MAP

**CONSULTANTS:**

STRUCTURAL ENGINEERING:  
 SEE ENGINEERING  
 STANLEY ELCOCK  
 P.E. C41457  
 P.O. BOX 308  
 ARCATA, CA 95521  
 (707) 498-6315

CONTRACTOR:  
 HAVEN ELECTRIC, INC.  
 MARK SHAEFFER  
 CONTRACTORS LICENSE # 814866  
 PO BOX 1352, BLUE LAKE, CA 95525  
 MARKSHAEFFER@ME.COM  
 (707) 834-1421

LANDSCAPING:  
 SAMARA RESTORATION  
 JOSH KOEPKE, PRINCIPAL  
 5260 DOWS PRAIRIE RD  
 MCKINLEYVILLE, CA 95519  
 (707) 601-3478

**WDH INTERPRETIVE GARDENS:**

**CLIENT ADDRESS:**  
 FERNLANDS,LLC  
 ATTN: BRYAN GAYNOR & KEITH BORGES  
 1338 MAIN ST. FORTUNA CA, 95540  
 (707) 826-8544

**PROJECT ADDRESS:**  
 665 MAIN ST. FERNDAL, CA 95536

**APN 031-132-021**

**PARCEL SIZE:**  
 16,117 SQ FT +/-  
 or 0.37 ACRES +/-

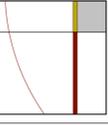
**PROPERTY ZONING: C-1-D-Q**  
 NEIGHBORHOOD COMMERCIAL ZONE WITH A DESIGN CONTROL  
 OVERLAY ZONE & A QUALIFIED OVERLAY ZONE

**SHEET INDEX:**

- A-0 PROJECT INFORMATION, LOCATION MAP
- A-1 PROPOSED SITE PLAN
- A-1.1 ACCESSIBLE PATH OF TRAVEL PLAN
- A-2 ENTRY GATE DETAILS
- A-3 FENCE DETAILS
- A-4 UTILITY SHED PLAN & SECTIONS
- A-5 UTILITY SHED ELEVATIONS
- E-1 PROPOSED ELECTRICAL & PLUMBING PLAN
- E-2 PROPOSED ELECTRICAL & PLUMBING PLAN DETAILS
- L-1.0 PLANT LEGEND AND NOTES
- L-2.0 PLANTING PLAN
- L-3.0 PLANTING PLAN

REVISIONS:


**JULIAN BERG DESIGNS**  
 ARCHITECTURE & PLANNING  
 846 A STREET  
 ARCATA, CALIFORNIA, 95521  
 TEL: (707) 407-8870  
 julianbergdesigns.com



PROJECT TITLE: WDH INTERPRETIVE GARDENS - FERNDAL, CA  
 FERNLANDS, LLC • 1338 MAIN STREET • FORTUNA CA, 95540 • TEL: (707) 826-8544  
 SHEET TITLE: PROJECT INFORMATION, LOCATION MAP, PROJECT INDEX  
 ASSESSOR'S PARCEL NUMBER: 031-132-021

DRAWN BY:  
 JAB/DHV  
 DATE:  
 6/15/2020

SHEET # : **A-0**

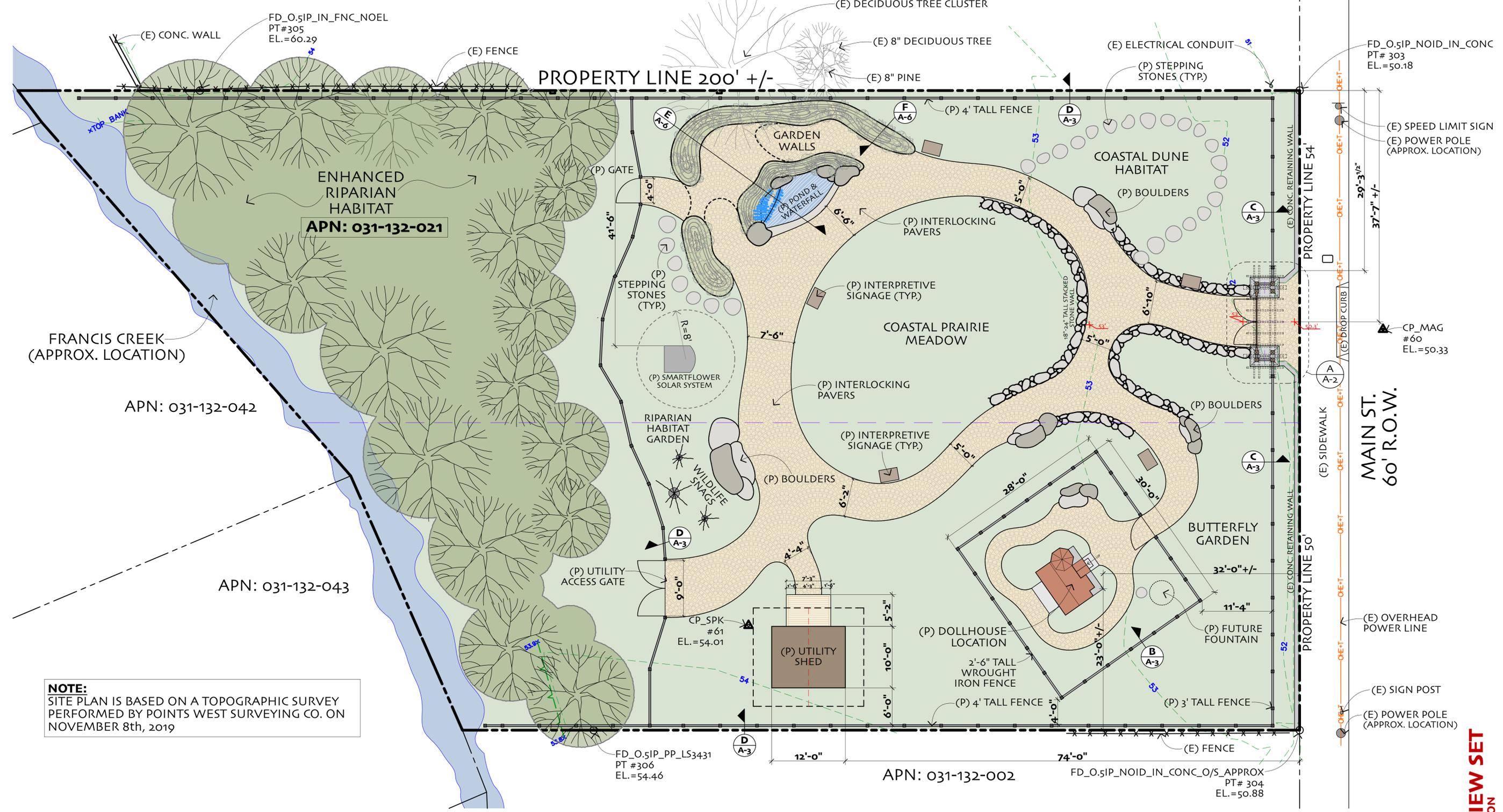
**DESIGN REVIEW SET**  
**NOT FOR CONSTRUCTION**

GRAPHIC SCALE BAR  
 MEASURES 1 INCH ON  
 FULL SIZE PLANS

REUSE OF DOCUMENTS: This document and the ideas and design incorporated herein, as an instrument of professional service, is the property of JULIAN BERG DESIGNS and shall not be reused in whole or part for any other project without JULIAN BERG DESIGNS written authorization.

# SHAW HOUSE INN

APN: 031-132-016



**NOTE:**  
 SITE PLAN IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED BY POINTS WEST SURVEYING CO. ON NOVEMBER 8th, 2019

REVISIONS:


**JULIAN BERG DESIGNS**  
 ARCHITECTURE & PLANNING  
 846 A STREET  
 ARCATA, CALIFORNIA, 95521  
 TEL: (707) 407-8870  
 julianbergdesigns.com



PROJECT TITLE: WDH INTERPRETIVE GARDENS - FERNDALE, CA  
 FERNLANDS, LLC • 1338 MAIN STREET • FORTUNA CA, 95540 • TEL: (707) 826-8544  
 SHEET TITLE: **PROPOSED SITE PLAN**  
 ASSESSOR'S PARCEL NUMBER: 031-132-021

DRAWN BY:  
 JAB/DHV  
 DATE:  
 6/15/2020

SHEET # :  
**A-1**

**DESIGN REVIEW SET**  
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PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0" (22" X34" PAPER SIZE)  
 1/16" = 1'-0" (11" X17" PAPER SIZE)

GRAPHIC SCALE BAR  
 MEASURES 1 INCH ON  
 FULL SIZE PLANS

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### PATH OF TRAVEL REQUIREMENTS:

1. THE RUNNING SLOPE OF A WALKING SURFACE IS NOT STEEPER THAN 1:20 (5%). SECTION 11B-403.3
2. THE CROSS SLOPE OF A WALKING SURFACE IS NOT STEEPER THAN 1:48 (2.08%). SECTION 11B-403.3
3. EXCEPT AS OTHERWISE SPECIFIED, THE CLEAR WIDTH OF WALKING SURFACES IS 36 INCHES MINIMUM. SECTION 11B-403.5.1

#### EXCEPTIONS:

1. THE CLEAR WIDTH SHALL BE PERMITTED TO BE REDUCED TO 32 INCHES MINIMUM FOR A LENGTH OF 24 INCHES MAXIMUM PROVIDED THAT REDUCED WIDTH SEGMENT ARE SEPARATED BY SEGMENTS THAT ARE 48 INCHES LONG MINIMUM AND 36 INCHES WIDE MINIMUM.
  2. THE CLEAR WIDTH FOR WALKING SURFACES IN CORRIDORS SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE 44 INCHES MINIMUM.
  3. THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48" MINIMUM. WHEN, BECAUSE OF RIGHT-OF-WAY RESTRICTIONS, NATURAL BARRIERS OR OTHER EXISTING CONDITIONS, THE ENFORCING AGENCY DETERMINES THAT COMPLIANCE WITH THE 48 INCH CLEAR SIDEWALK WOULD CREATE AN UNREASONABLE HARDSHIP, THE CLEAR WIDTH MAY BE REDUCED TO 36 INCHES.
  4. THE CLEAR WIDTH FOR AISLES SHALL BE 36 INCHES MINIMUM IF SERVING ELEMENTS ON ONLY ONE SIDE, AND 44 INCHES MINIMUM IF SERVING ELEMENTS ON BOTH SIDES.
4. WHERE THE ACCESSIBLE ROUTE MAKES A 180-DEGREE TURN AROUND AN ELEMENT WHICH IS LESS THAN 48 INCHES WIDE, THE CLEAR WIDTH IS 42 INCHES MINIMUM APPROACHING THE TURN, 48 INCHES MINIMUM AT THE TURN AND 42 INCHES MINIMUM LEAVING THE TURN. SECTION 11B-403.5.2  
EXCEPTION:  
WHEN THE CLEAR WIDTH AT THE TURN IS 60 INCHES MINIMUM, COMPLIANCE WITH THE INCREASED ROUTE WIDTHS DETAILED ABOVE ARE NOT REQUIRED.
5. PASSING SPACES: AN ACCESSIBLE ROUTE WITH A CLEAR WIDTH LESS THAN 60 INCHES PROVIDES PASSING SPACES AT INTERVALS OF 200 FEET MAXIMUM. THE PASSING SPACES ARE EITHER A SPACE 60 INCHES MINIMUM BY 60 INCHES MINIMUM, OR AN INTERSECTION OF TWO WALKING SURFACES THAT PROVIDE A COMPLIANT T-SHAPED TURNING SPACE WHERE THE BASE AND ARMS OF THE T-SHAPED SPACE EXTEND 48 INCHES MINIMUM BEYOND THE INTERSECTION. SECTION 11B-403.5.3
6. WHERE HANDRAILS ARE PROVIDED ALONG WALKING SURFACES WITH RUNNING SLOPES NOT STEEPER THAN 1:20 (5%), THEY COMPLY WITH SECTION 24, "HANDRAILS". SECTION 11B-403.6
7. ALL WALKS WITH CONTINUOUS GRADIENTS HAVE LEVEL RESTING AREAS, 5 FEET IN LENGTH, AT INTERVALS OF 400 FEET MAXIMUM. SECTION 11B-403.7
8. VERTICAL CLEARANCE IS A MINIMUM OF 80 INCHES HIGH ABOVE THE FINISH FLOOR OR GROUND. SECTION 11B-307.4
9. FLOOR AND GROUND SURFACE IS STABLE, FIRM AND SLIP RESISTANT. SECTION 11B-302.1, 11B-303.1
10. CHANGES IN LEVEL: WHERE CHANGES IN LEVEL ARE PERMITTED IN FLOOR OR GROUND SURFACES, THEY SHALL COMPLY AS DETAILED IN SECTION 11B-303.1, 11B-303.2.

**11B-303.2 Vertical.** Changes in level of 1/4 inch (6.4 mm) high maximum shall be permitted to be vertical *and without edge treatment*.

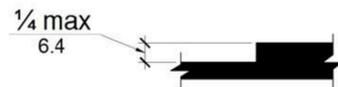


FIGURE 11B-303.2  
VERTICAL CHANGE IN LEVEL

**11B-303.3 Beveled.** Changes in level between 1/4 inch (6.4 mm) high minimum and 1/2 inch (12.7 mm) high maximum shall be beveled with a slope not steeper than 1:2.

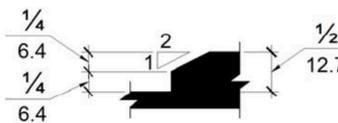
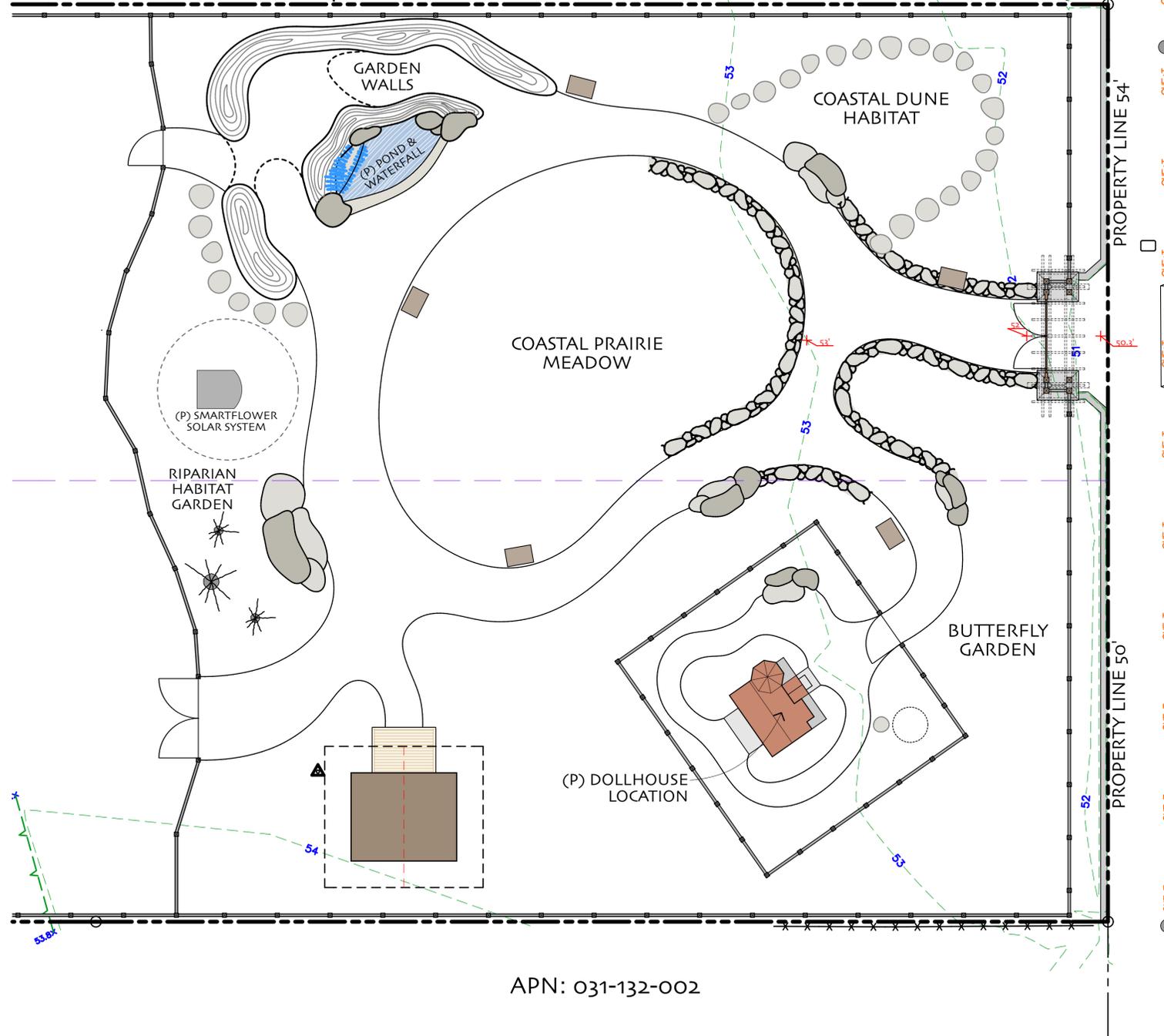


FIGURE 11B-303.3  
BEVELED CHANGE IN LEVEL

## SHAW HOUSE INN

APN: 031-132-016

PROPERTY LINE 200' +/-



APN: 031-132-002

MAIN ST.  
60' R.O.W.

REVISIONS:


**JULIAN BERG DESIGNS**  
ARCHITECTURE & PLANNING  
84.6 A STREET  
ARCATA, CALIFORNIA, 95521  
TEL: (707) 407-8870  
julianbergdesigns.com



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FERNLANDS, LLC • 1338 MAIN STREET • FORTUNA CA, 95540 • TEL: (707) 826-8544

SHEET TITLE: ACCESSIBILITY PATH OF TRAVEL PLAN  
ASSESSOR'S PARCEL NUMBER: 031-132-021

DRAWN BY:  
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DATE:  
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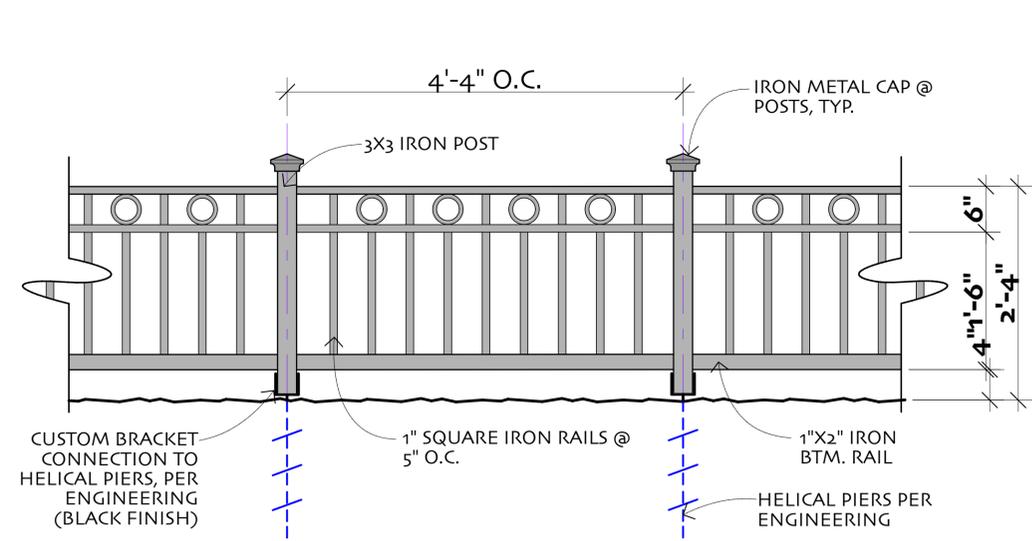
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**A-1.1**

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GRAPHIC SCALE BAR  
MEASURES 1 INCH ON  
FULL SIZE PLANS

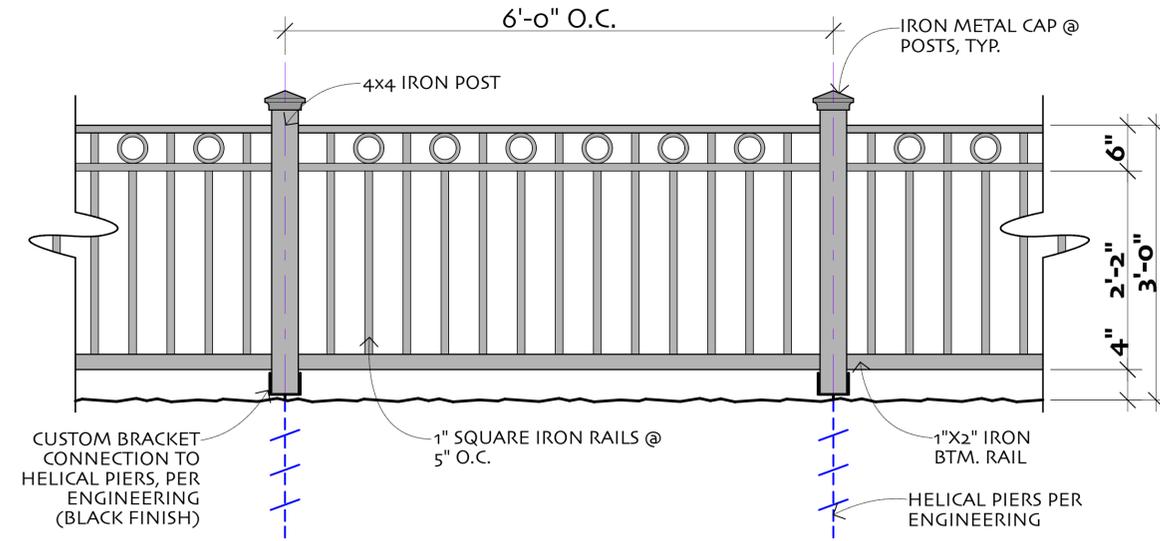


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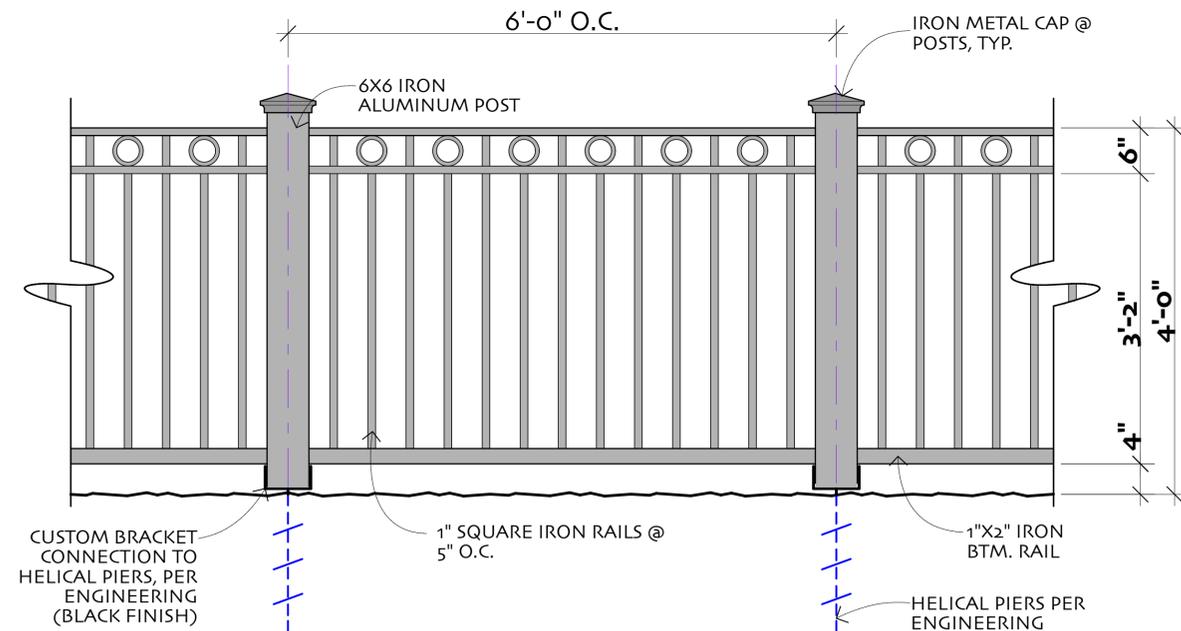
### DETAIL "B" - DOLL HOUSE FENCE

SCALE: 1" = 1'-0" (22" X34" PAPER SIZE)  
1/2" = 1'-0" (11" X17" PAPER SIZE)



### DETAIL "C" - FRONT FENCE

SCALE: 1" = 1'-0" (22" X34" PAPER SIZE)  
1/2" = 1'-0" (11" X17" PAPER SIZE)



### DETAIL "D" - SIDE & REAR FENCES

SCALE: 1" = 1'-0" (22" X34" PAPER SIZE)  
1/2" = 1'-0" (11" X17" PAPER SIZE)

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ARCATA, CALIFORNIA, 95521  
TEL: (707) 407-8870  
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SHEET TITLE: **DETAILS B, C, & D - FRONT AND SIDE FENCE DETAILS**  
ASSESSOR'S PARCEL NUMBER: 031-132-021

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DATE:  
6/15/2020

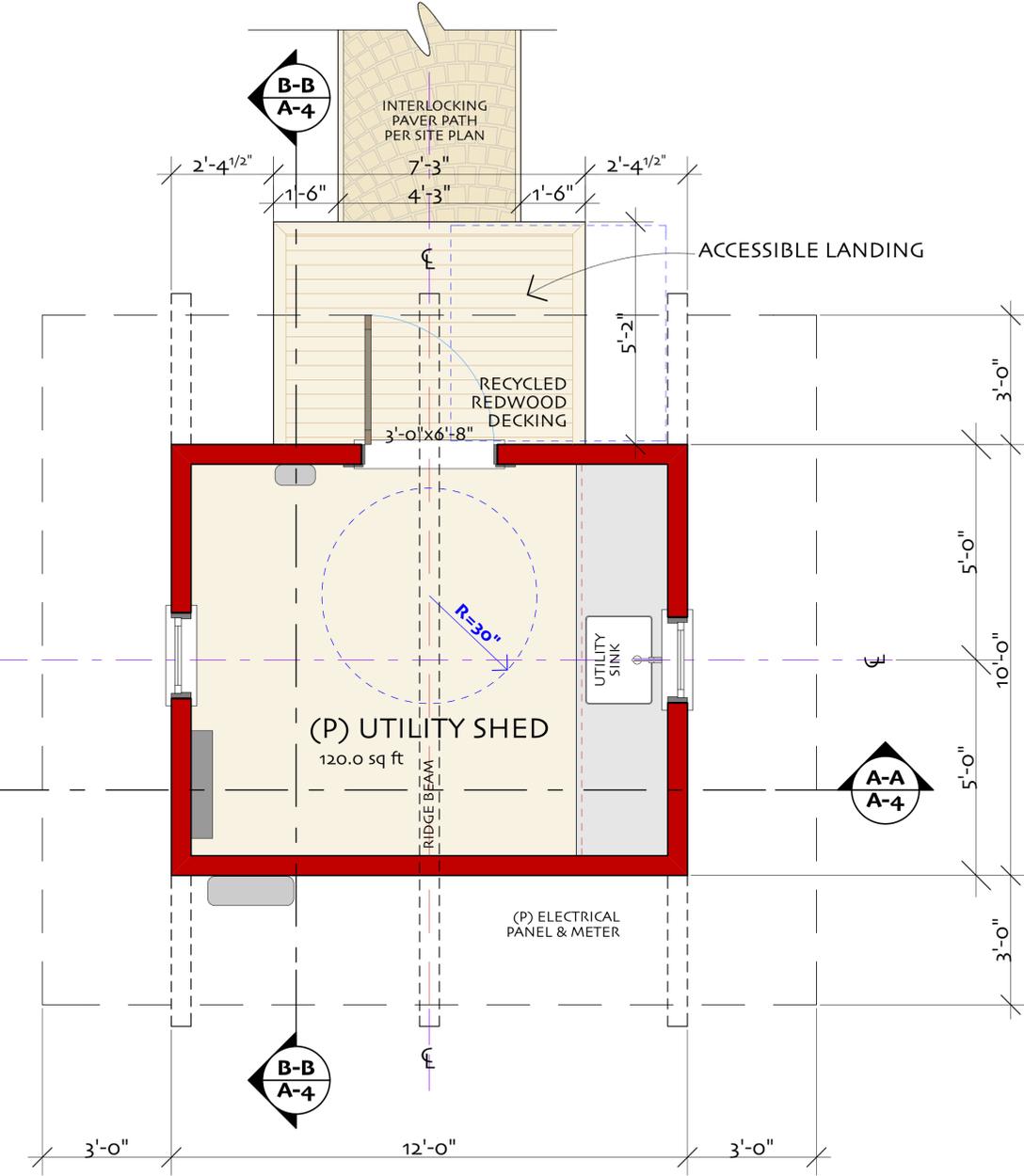
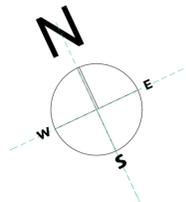
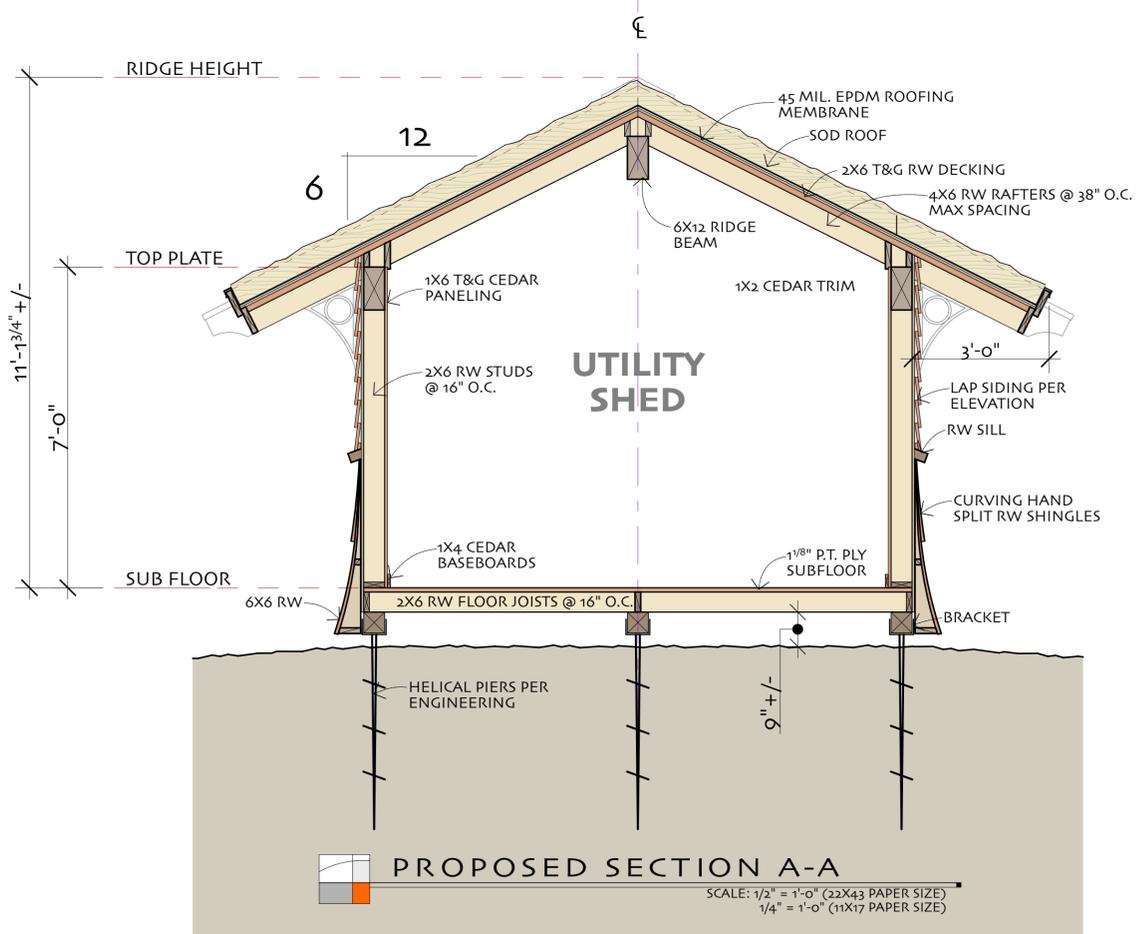
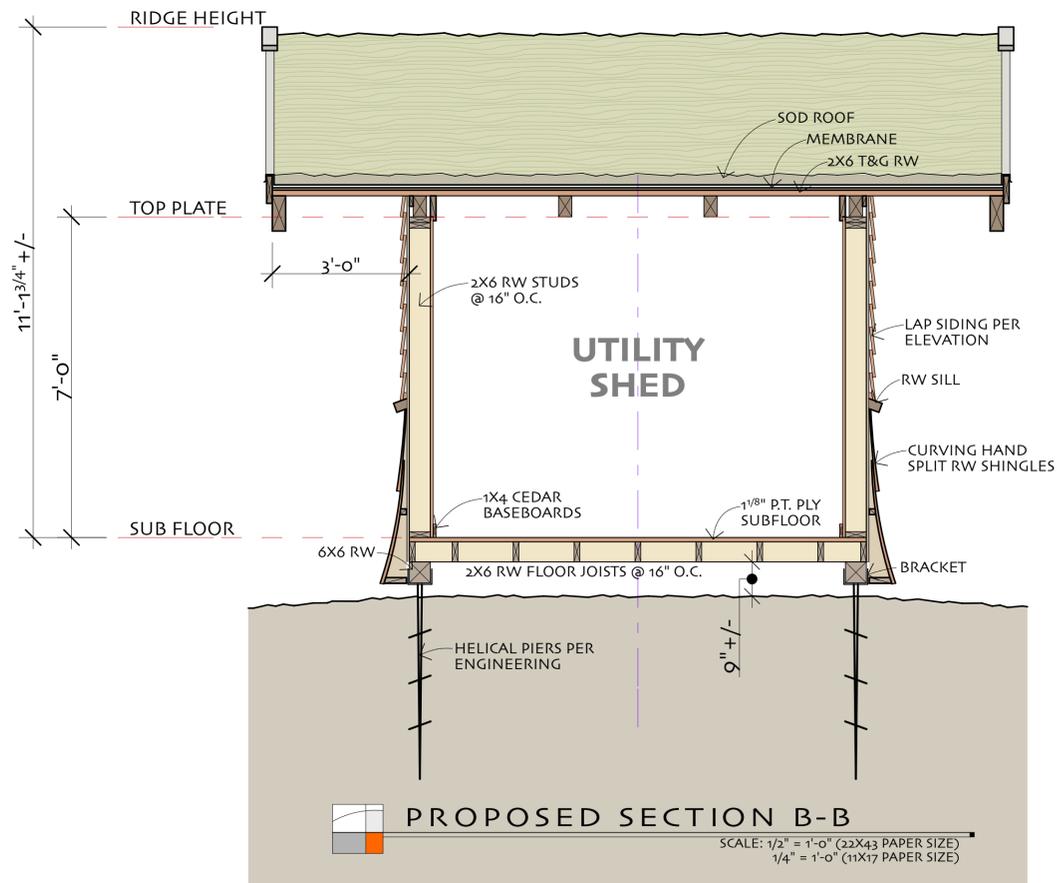
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# A-3

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**WALL LEGEND**

- (N) 2x4 WALL (STUDS 16" O.C.)
- (N) 2x6 WALL (STUDS 16" O.C.)
- (N) 2x4 HALF WALL (STUDS 16" O.C.)
- EXISTING 2x4 WALL

GRAPHIC SCALE BAR  
 MEASURES 1 INCH ON  
 FULL SIZE PLANS

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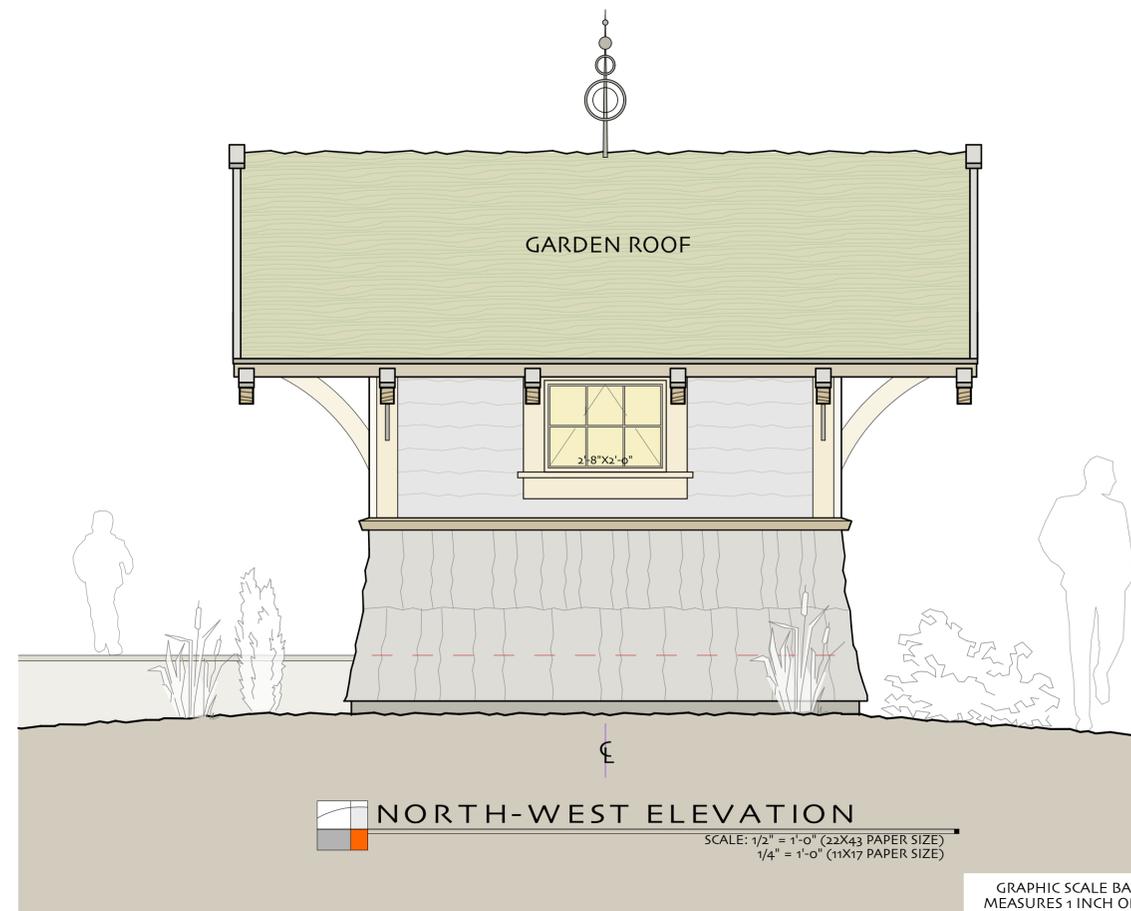
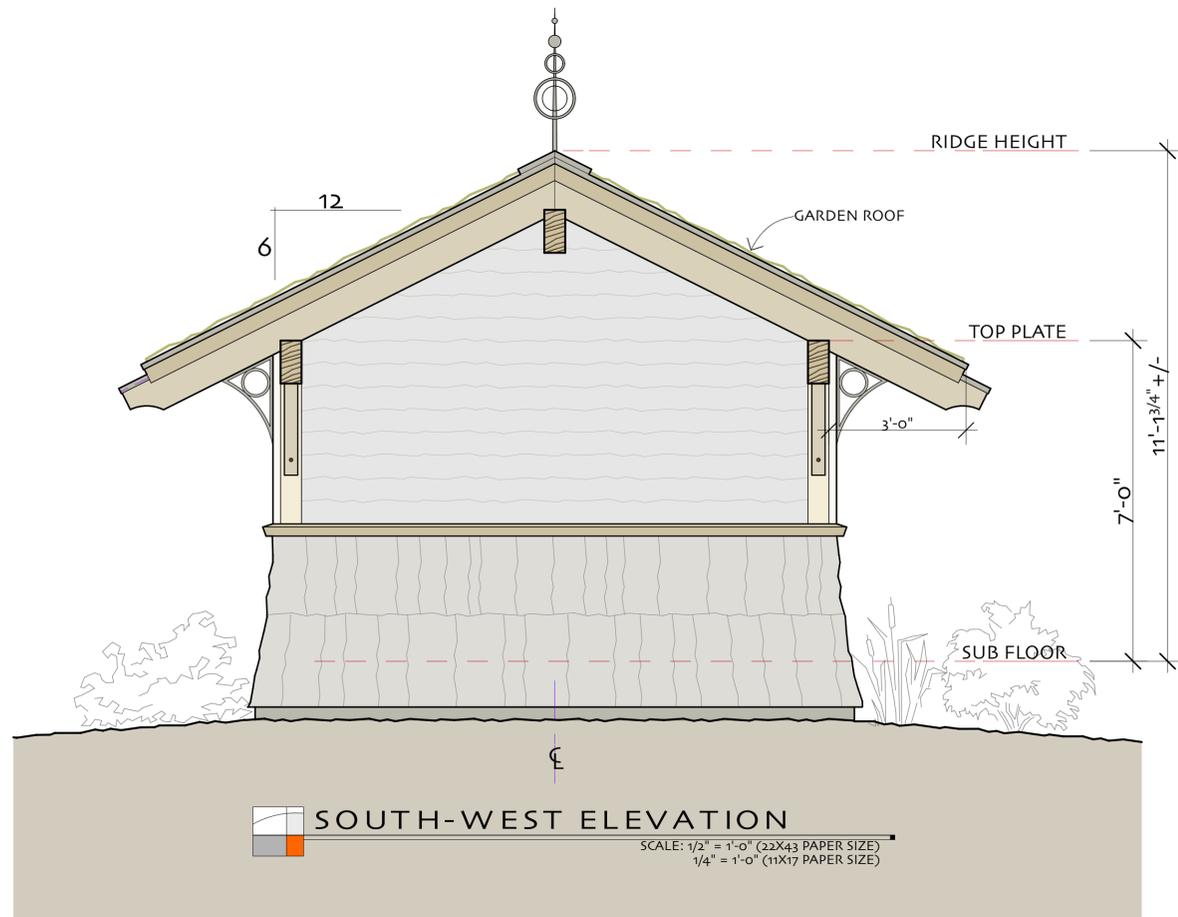
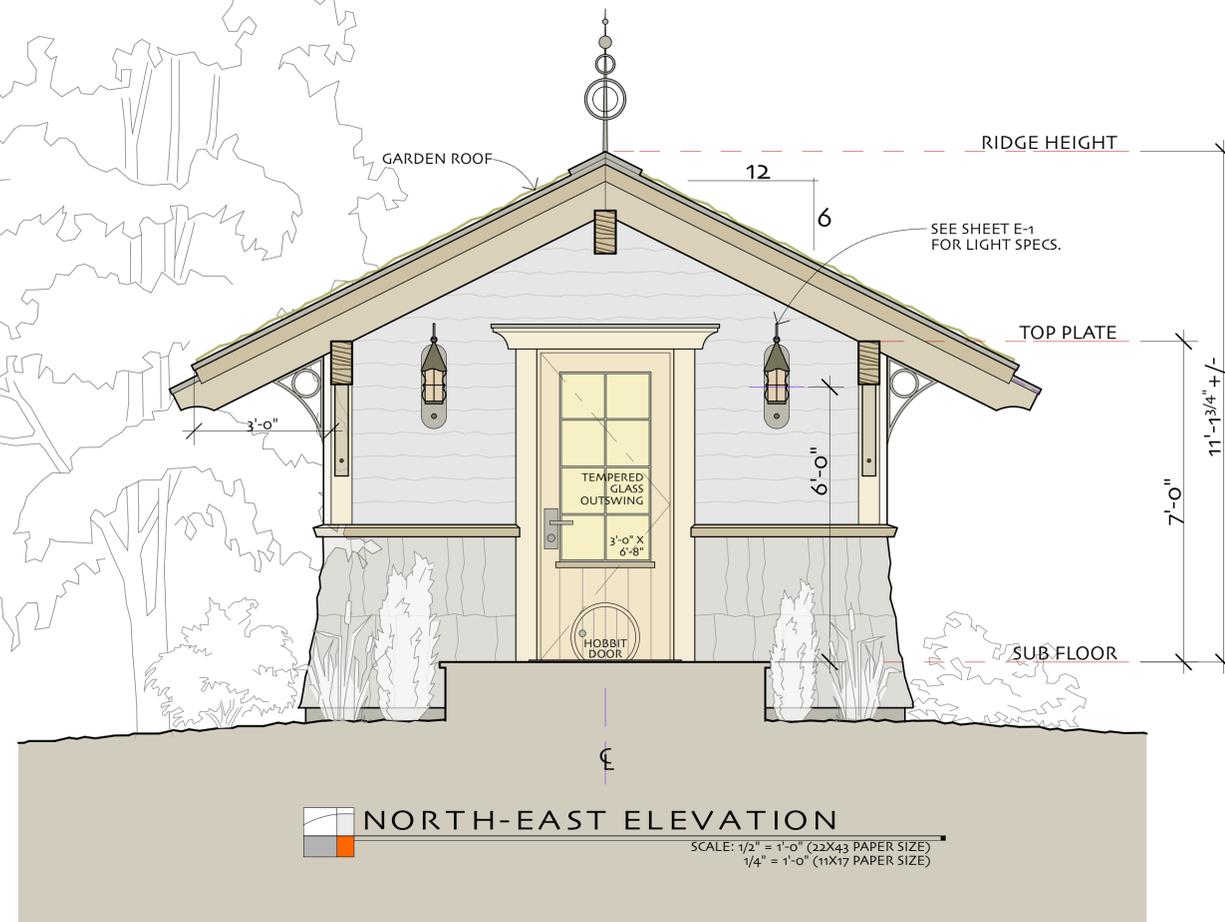
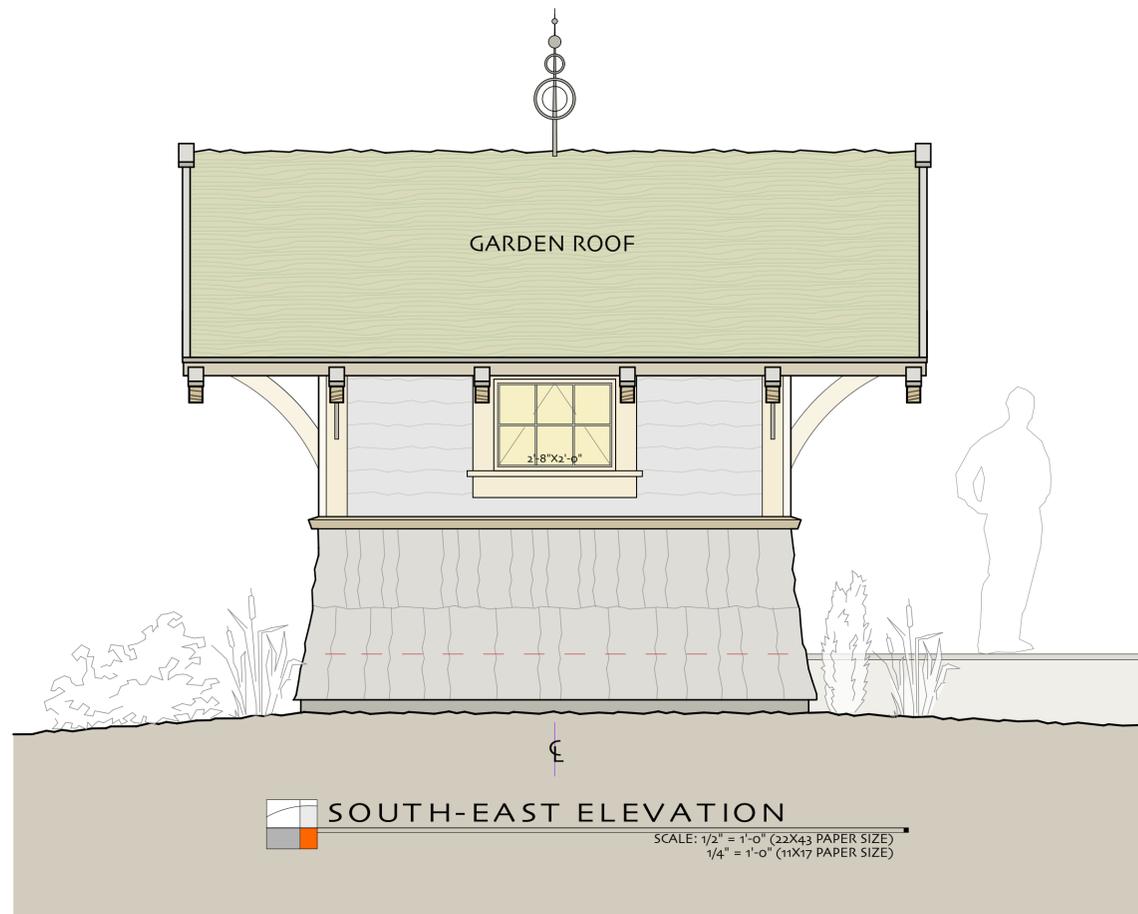
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 SHEET TITLE: UTILITY SHED - PLAN & SECTIONS  
 ASSESSOR'S PARCEL NUMBER: 031-132-021

DRAWN BY:  
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 DATE:  
 6/15/2020

SHEET # :  
**A-4**

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GRAPHIC SCALE BAR MEASURES 1 INCH ON FULL SIZE PLANS

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 SHEET TITLE: UTILITY SHED - ELEVATIONS  
 ASSESSOR'S PARCEL NUMBER: 031-132-021

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 DATE:  
 6/15/2020

SHEET # :  
**A-5**

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### EXTERIOR LIGHT FIXTURE SCHEDULE

**A KICHLER® 15807AZT27R PATHWAY LIGHT**

- SIGNATURE LED
- 12V, 4.3 WATT
- 2700K COLOR TEMP.
- TEXTURED ARCHITECTURAL BRONZE FINISH



**B HINKLEY LIGHTING INC. HARDY ISLAND FLAT TOP WELL LIGHT**

- HARDY ISLAND FLAT TOP WELL LIGHT
- 12V, 2 WATT
- LED
- 4" WIDE, 5.5" TALL
- CAST BRASS
- 2,700K COLOR TEMP.



**C KICHLER BRONZE 3-LED HARDSCAPE STEP LIGHT WITH MOUNTING BRACKET - STYLE # T3437**

- TEXTURED ARCHITECTURAL BRONZE FINISH
- STAINLESS STEEL CONSTRUCTION
- DIMMABLE
- 2.5 WATT
- 3,000K COLOR TEMP.



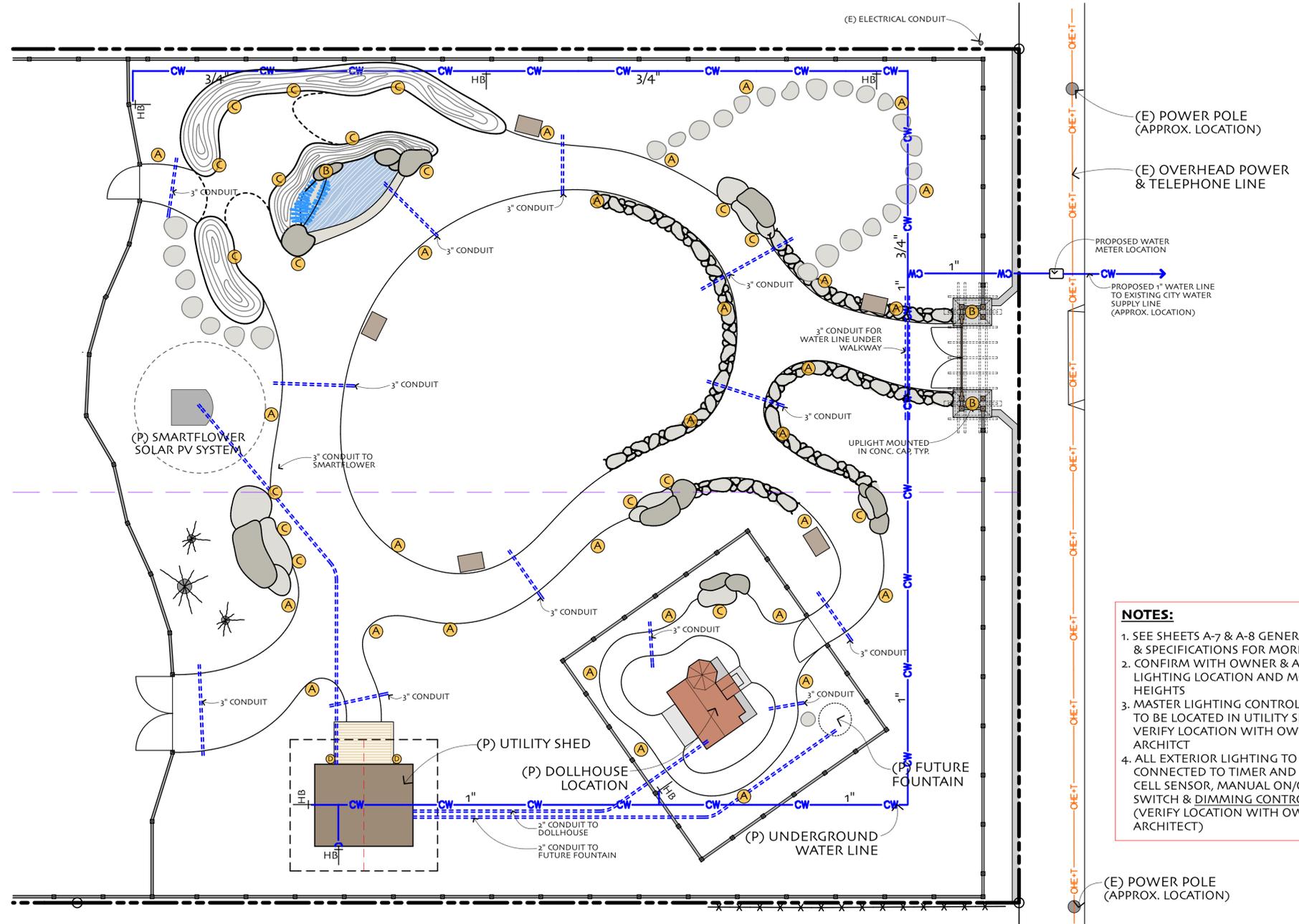

**D STORY BOOK LIGHTING MICA LAMP COMPANY SB52 KNIGHTS WALL LANTERN - MEDIUM**

- SB52 KNIGHTS WALL LANTERN - MEDIUM
- 9" W X 22" TALL X 10" PROJECTION
- STEEL & IRON CONSTRUCTION
- ORANGE AMBER MICA DIFUSSER
- INSTALL WITH LED BULB



### ELECTRICAL/MECHANICAL LEGEND

- CEILING MOUNTED PENDANT LIGHT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- CEILING MOUNTED RECEPTACLE
- WALL SCONCE
- LED STRIP LIGHTING
- 4" CEILING MOUNTED LED RECESSED LIGHT FIXTURE
- 4" CEILING MOUNTED LED RECESSED LIGHT FIXTURE - EXTERIOR TRIM (WET-LOCATION RATED FIXTURE)
- 4" CEILING MOUNTED LED RECESSED LIGHT FIXTURE - GIMBAL TRIM
- 4" CEILING MOUNTED LED RECESSED LIGHT FIXTURE - GIMBAL TRIM
- 6" CEILING MOUNTED LED RECESSED LIGHT FIXTURE
- 6" CEILING MOUNTED LED RECESSED LIGHT FIXTURE - EXTERIOR TRIM (WET-LOCATION RATED FIXTURE)
- 24" LED LINEAR FLUSH MOUNT
- 48" LED LINEAR FLUSH MOUNT
- LOW VOLTAGE LED EXTERIOR STEP/WALL LIGHT
- MOTION SENSOR EXTERIOR LIGHT
- LED EXTERIOR POST LIGHT TO BE SELECTED BY OWNER
- FAN
- WALL MOUNTED FAN
- SINGLE POLE SWITCH
- 3-WAY SWITCH
- SWITCH, DIMMER
- 110 VOLT DUPLEX OUTLET
- DUPLEX OUTLET, ABOVE STD. COUNTER HEIGHT
- DUPLEX OUTLET, WEATHERPROOF
- DUPLEX OUTLET, GROUND FAULT INTERRUPTER
- 220 VOLT DUPLEX OUTLET
- FLOOR DUPLEX OUTLET
- SUB-PANEL
- CAT-6 RECEPTACLE
- THERMOSTAT
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR, HARDWIRED WITH BATTERY BACKUP
- KEYPAD
- HOSE BIB



**NOTES:**

1. SEE SHEETS A-7 & A-8 GENERAL NOTES & SPECIFICATIONS FOR MORE INFO.
2. CONFIRM WITH OWNER & ARCHITECT LIGHTING LOCATION AND MOUNTING HEIGHTS
3. MASTER LIGHTING CONTROL PANEL TO BE LOCATED IN UTILITY SHED, VERIFY LOCATION WITH OWNER & ARCHITECT
4. ALL EXTERIOR LIGHTING TO BE CONNECTED TO TIMER AND PHOTO CELL SENSOR, MANUAL ON/OFF SWITCH & DIMMING CONTROL (VERIFY LOCATION WITH OWNER & ARCHITECT)

**PROPOSED ELECTRICAL & PLUMBING PLAN**  
 SCALE: 1/8" = 1'-0" (22" X 34" PAPER SIZE)  
 1/16" = 1'-0" (11" X 17" PAPER SIZE)

GRAPHIC SCALE BAR  
 MEASURES 1 INCH ON  
 FULL SIZE PLANS

REVISIONS:


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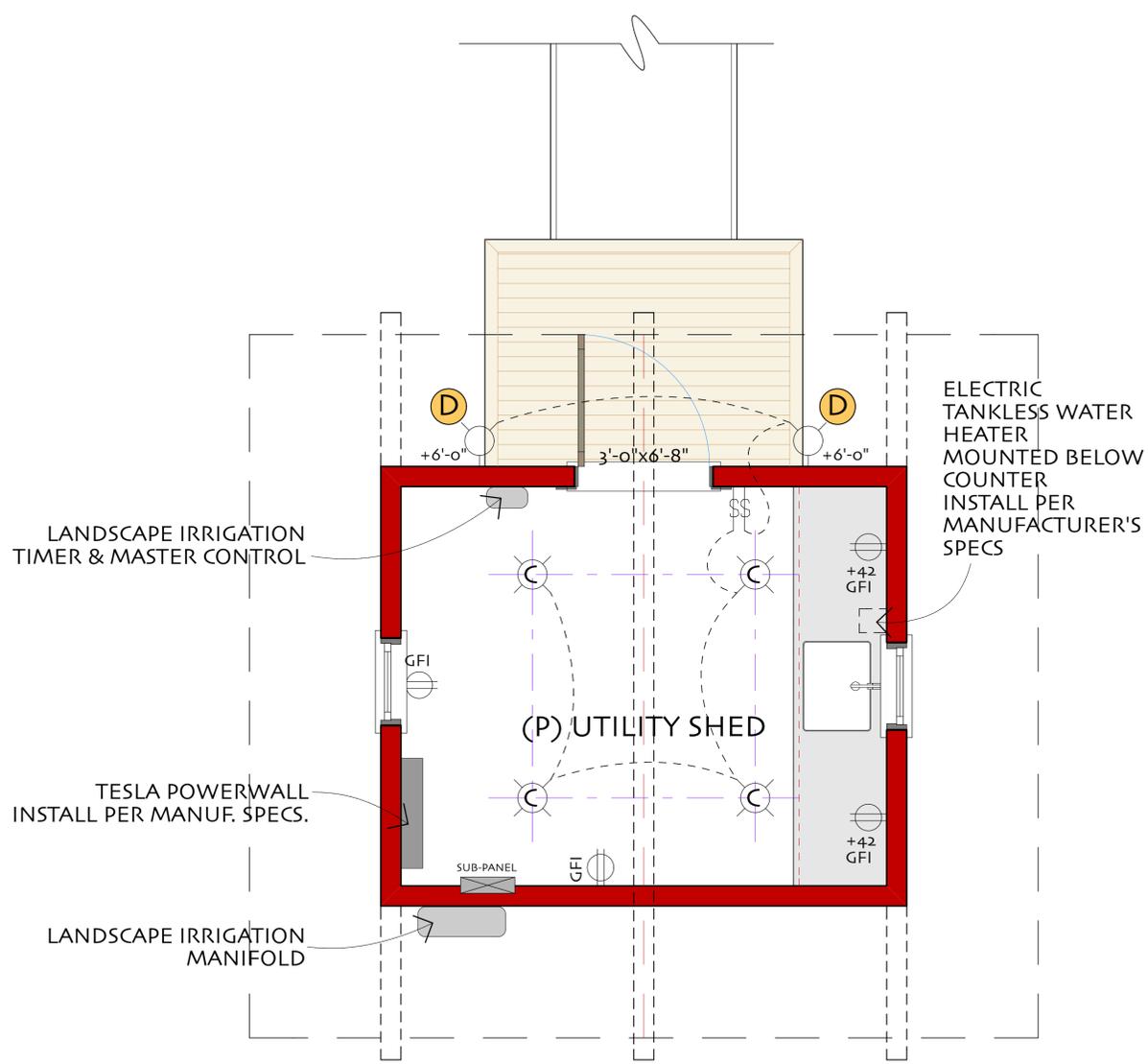


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 SHEET TITLE: **PROPOSED ELECTRICAL & PLUMBING PLAN**  
 ASSESSOR'S PARCEL NUMBER: 031-132-021

DRAWN BY:  
 JAB/DHV  
 DATE:  
 6/15/2020

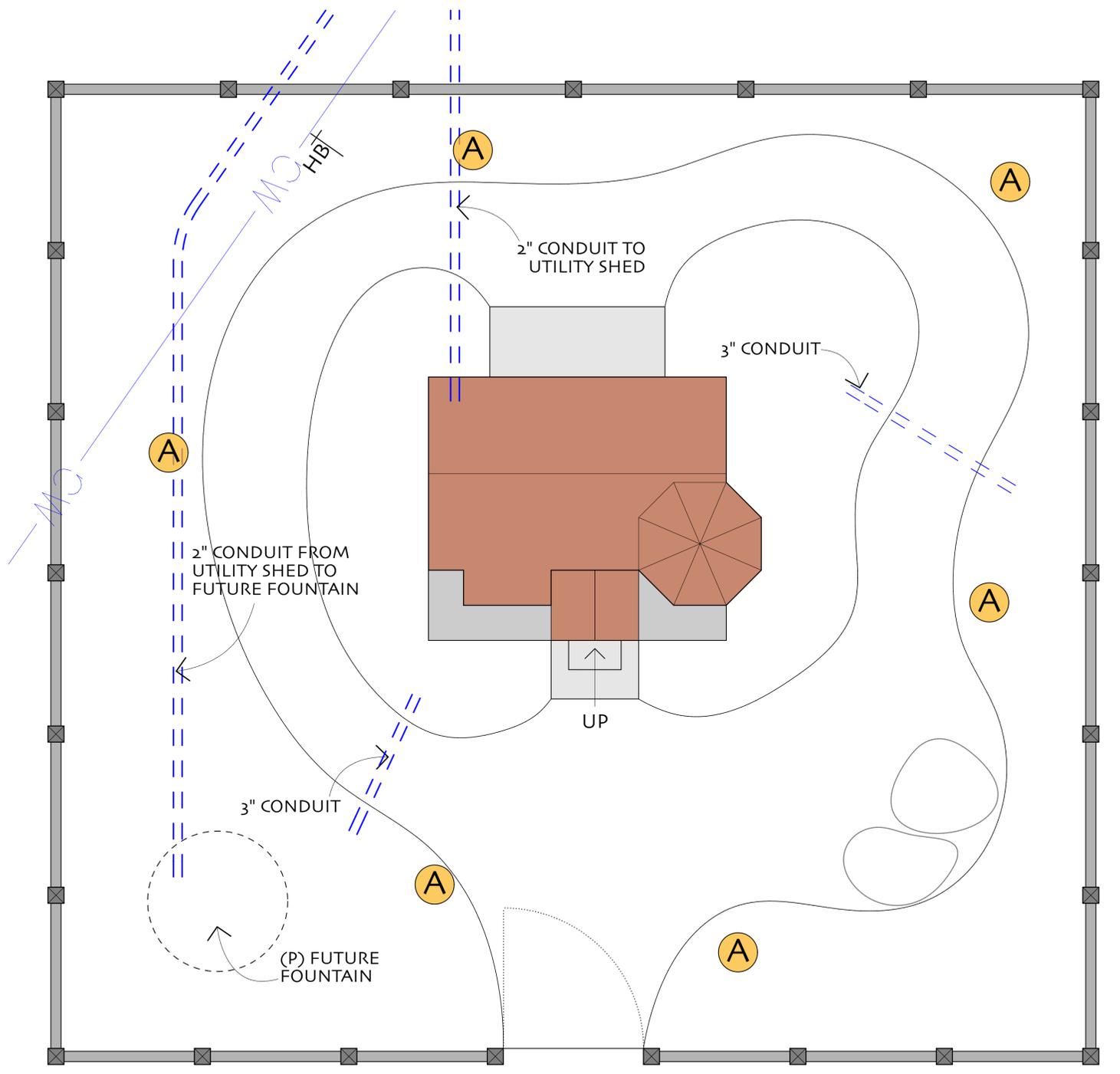
SHEET # :  
**E-1**

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**UTILITY SHED  
PROPOSED ELECTRICAL & PLUMBING PLAN DETAIL**

SCALE: 1/2" = 1'-0" (22" X 34" PAPER SIZE)  
1/4" = 1'-0" (11" X 17" PAPER SIZE)



**DOLLHOUSE  
PROPOSED ELECTRICAL & PLUMBING PLAN DETAIL**

SCALE: 1/2" = 1'-0" (22" X 34" PAPER SIZE)  
1/4" = 1'-0" (11" X 17" PAPER SIZE)

GRAPHIC SCALE BAR  
MEASURES 1 INCH ON  
FULL SIZE PLANS

REVISIONS:


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SHEET TITLE: **PROPOSED ELECTRICAL & PLUMBING PLAN DETAILS**  
ASSESSOR'S PARCEL NUMBER: 031-132-021

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DATE:  
6/15/2020

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**E-2**

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DRAFTED BY:  
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 erih@ponte-la.com

STAMP:

REVISIONS:

PROJECT NAME:  
**WDH INTERPRETIVE GARDENS**  
 FERNDALE, CA  
 1338 MAIN STREET - FORTUNA, CA 95540

DATE: 05-21-2020  
 DESIGNED BY: JK  
 DRAWN BY: EP

SHEET TITLE:  
**PLANT LEGEND AND NOTES**

**L-1.0**

**Plant Legend**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.
AC	ACER CIRCINATUM	VINE MAPLE	15 GAL	4
AAM	ACHILLEA MILLEFOLIUM	YARROW	4" POT	8
HH	ALCEA ROSEA	HOLLYHOCK	1 GAL	2
AEC	ARCTOSTAPHYLOS 'EMERALD CARPET'	MANZANITA CULTIVAR	1 GAL	10
⊙	ARMERIA MARITIMA	SEA THRIFT	4" POT	19
AP	ARTEMISIA PYCNOGENOL	WORMWOOD	1 GAL	7
AF	ATHYERIUM FILIX-FEMINA	LADY FERN	1 GAL	10
AQ	AQUILEGIA FORMOSA	WESTERN COLUMBINE	1 GAL	13
AV	AQUILEGIA VULGARIS	COLUMBINE	1 GAL	11
BPP	BACCHARIS 'PIGEON POINT'	DWARF COYOTE BRUSH	1 GAL	2
DF	BLECHNUM SPICANT	DEER FERN	1 GAL	21
BX	BUXUS 'JOHN BALDWIN'	DWARF BOXWOOD	1 GAL	7
CN	CALAMAGROSTIS NUTKAENSIS	PACIFIC REEDGRASS	1 GAL	17
⊕	CAREX PANSA	DUNE SEDGE	1 GAL	37
CDS	CEANOTHUS 'DARK STAR'	WILD LILAC CULTIVAR	5 GAL	1
CG	CEANOTHUS GLORIOSUS	GLORY BUSH CEANOTHUS	1 GAL	6
CRH	CEANOTHUS 'RAY HARTMAN'	WILD LILAC CULTIVAR	5 GAL	2
CYP	CEANOTHUS 'YANKEE POINT'	WILD LILAC CULTIVAR	1 GAL	8
CHO	CHAMAECYPARIS 'OBTUSA'	DWARF CEDAR	15 GAL	1
CS	CORNUS SERICEA	RED TWIG DOGWOOD	5 GAL	5
DE	DELPHINIUM ELATUM	LARKSPUR	1 GAL	5
DF	DICENTRA FORMOSA	BLEEDING HEART	4" POT	9
DS	DIGITALIS PURPUREA	FOXGLOVE	1 GAL	7
⊙	EPILOBIUM 'MATTOLE SELECT'	CA FUCSHIA	1 GAL	17
EG	ERIGERON GLAUCUS	SEASIDE DAISY	1 GAL	14
EL	ERIOGONUM LATIFOLIUM	BEACH BUCKWHEAT	1 GAL	21
△	ESCHOLZIA CA. 'MARITIMA'	MARITIME CA POPPY	4" POT	43
FC	FESTUCA CALIFORNICA	CA FESCUE	1 GAL	25
FI	FESTUCA IDAHOENSIS	IDAHO FESCUE	4" POT	5
FV	FRAGERIA VESCA	WILD STRAWBERRY	4" POT	25
GE	GARRYA ELLIPTICA	SILK TASSLE	5 GAL	3
HA	HETEROMELES ARBUTIFOLIA	TOYON	5 GAL	1
HM	HEUCHERA MICRANTHA	CORAL BELLS	1 GAL	6
HO	HEUCHERA 'OBSIDIAN'	CORAL BELLS	4" POT	5

NOTES:

GRADING:

CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING ALL PLANTING AREAS TO FINISH GRADE AFTER SOIL PREPARATION WHICH SHALL BE 1" BELOW PAVING AND CURBS. SPECIAL ATTENTION SHALL BE GIVEN TO MAINTAINING CONTINUOUS AND EVEN FLOWLINES, AND 2% DRAINAGE AWAY FROM STRUCTURES, TO DRAIN INLET OR OUTLETS. GRADES SHALL BE ESTABLISHED TO DRAIN ALL WATER AWAY FROM STRUCTURES BEHIND WALLS. WHEN DRAINAGE IS DIFFICULT TO ACHIEVE, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AND REQUEST A SOLUTION BEFORE CONTINUING. GRADE IN SHRUB AREAS SHALL BE ESTABLISHED PRIOR TO PLANTING TO ENSURE PROPER FINAL PLANTING HEIGHTS.  
 CONTRACTOR WILL BE RESPONSIBLE FOR MEETING ADA REQUIREMENTS FOR WALKWAYS THROUGHOUT THE PROJECT SITE.

SHRUB PLANTING

PLACE PLANTS IN POSITION ON BED AREAS, PER PLANTING PLAN BEFORE CANS HAVE BEEN REMOVED. OBTAIN APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO PLANTING. DO NOT REMOVE BURLAP FROM BB PLANTS. LANDSCAPE ARCHITECT RESERVES RIGHT TO INTERCHANGE OR SHIFT PLANTS PRIOR TO PLANTING.  
 ALL SHRUBS OUTSIDE PREPARED BED AREAS OR WITH ROOT BALLS DEEPER THAN DEPTH OF BED PREPARATION SHALL BE POCKET PLANTED. EXCAVATE PLANTING HOLE 2 TIMES THE WIDTH AND HEIGHT OF THE ROOT BALL. BACKFILL WITH PLANTING MIX.  
 PLANT WHERE LOCATED, SETTING PLANTS WITH TOPS OF BALLS EVEN WITH TOPS OF BEDS, AND COMPACT SOIL CAREFULLY AROUND EACH PLANT BALL. WATER EACH PLANT THOROUGHLY WITH HOSES TO ELIMINATE AIR POCKETS. CAREFULLY PRUNE PLANTS TO REMOVE DEAD OR BROKEN BRANCHES AND HAND RAKE BED AREAS TO SMOOTH EVEN SURFACES.

**Plant Legend (continued)**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.
HD	HOLODISCUS DISCOLOR	OCEAN SPRAY	5 GAL	1
ID	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	52
JP	JUNCUS PATENS	GRAY RUSH	1 GAL	5
LS	LAVANDULA 'GROSSO'	LAVENDER	1 GAL	5
SD	LEUCANTHEMUM SP.	SHASTA DAISY	1 GAL	5
ST	LIMONIUM PEREZII	STATICE	4" POT	4
LP	LUPINUS POLYPHYLUS	BROAD LEAVED LUPINE	1 GAL	6
MF	MALUS FLORIBUNDA	CRABAPPLE	5 GAL	2
MA	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	1 GAL	3
MA	MIMULUS GUTTATUS	SEEP MONKEYFLOWER	1 GAL	3
⊗	MONARDELLA VILLOSA	COYOTE MINT	1 GAL	4
MC	MORELLA CALIFORNICA	WAX MYRTLE	5 GAL	1
⊖	NARCISSUS	DAFFODIL	BULB	44
OC	OEMLERIA CERASIFORMIS	OSO BERRY	1 GAL	3
PL	PHILADELPHIS LEWISII	MOCK ORANGE	5 GAL	1
PC	PHYSOCARPUS CAPITATUS	PACIFIC NINEBARK	1 GAL	1
PCC	PINUS CONTORTA CONTORTA	SHORE PINE	5 GAL	2
PM	POLYSTICHUM MUNITUM	SWORD FERN	1 GAL	7
RO	RHODODENDRON OCCIDENTALIS	WESTERN AZALEA	5 GAL	8
RS	RIBES SANGUINEUM	RED CURRANT	1 GAL	6
RE	RUDBECKIA OCCIDENTALIS	WESTERN CONEFLOWER	1 GAL	6
SM	SIDALCEA MALVIFLORA	CHECKER BLOOM	1 GAL	4
SC	SCROPHULARIA CALIFORNICA	BEE PLANT	4" POT	4
SS	SOLIDAGO SPATHULATA	COAST GOLDENROD	4" POT	6
SP	SYRINGIA 'PALIBIN'	MEYER LILAC	1 GAL	3
TG	TELLIMA GRANDIFLORA	FRINGECUP	1 GAL	9
TP	THUJA PPLICATA	WESTERN RED CEDAR	5 GAL	1
TH	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	5 GAL	1
VO	VACCINIUM OVATUM	BLUE HUCKLEBERRY	1 GAL	20
VP	VACCINIUM PARVIFOLIUM	RED HUCKLEBERRY	1 GAL	1
VPT	VIBURNUM P. TOMENTOSA	VIBURNUM	1 GAL	1

⊙ PROPOSED QUICK COUPLER LOCATION

MULCH:

WHEN PLANTING OPERATIONS ARE COMPLETE AND SHRUB AREAS HAVE BEEN RAKED AND DRESSED, ALL PLANTING AREAS WILL BE SHEET MULCHED, USING DIFFERENT TECHNIQUES IN DIFFERENT AREAS. SOME AREAS WILL BE MOUNDED WITH TOPSOIL SUCH AS, IN THE DUNE SECTION TO MIMIC A DUNE-SCAPE. SHEET MULCH WILL BE BROWN/UNPAINTED CARDBOARD AND FIR CHIPS.

CLEAN-UP

DURING WORK, KEEP PREMISES NEAT AND ORDERLY INCLUDING ORGANIZATION OF STORAGE AREA. REMOVE TRASH, INCLUDING DEBRIS RESULTING FROM REMOVING WEEDS AND ROCKS FROM PLANTING AREAS, PREPARING BEDS, OR PLANTING PLANTS FROM SITE DAILY AS WORK PROGRESSES. KEEP WALK AND DRIVEWAY AREA CLEAN BY SWEEPING OR HOSING.





DRAFTED BY:  
**PLA**  
Ponte Landscape Architecture  
(541) 870-9886  
erin@ponte-la.com

STAMP:

REVISIONS:

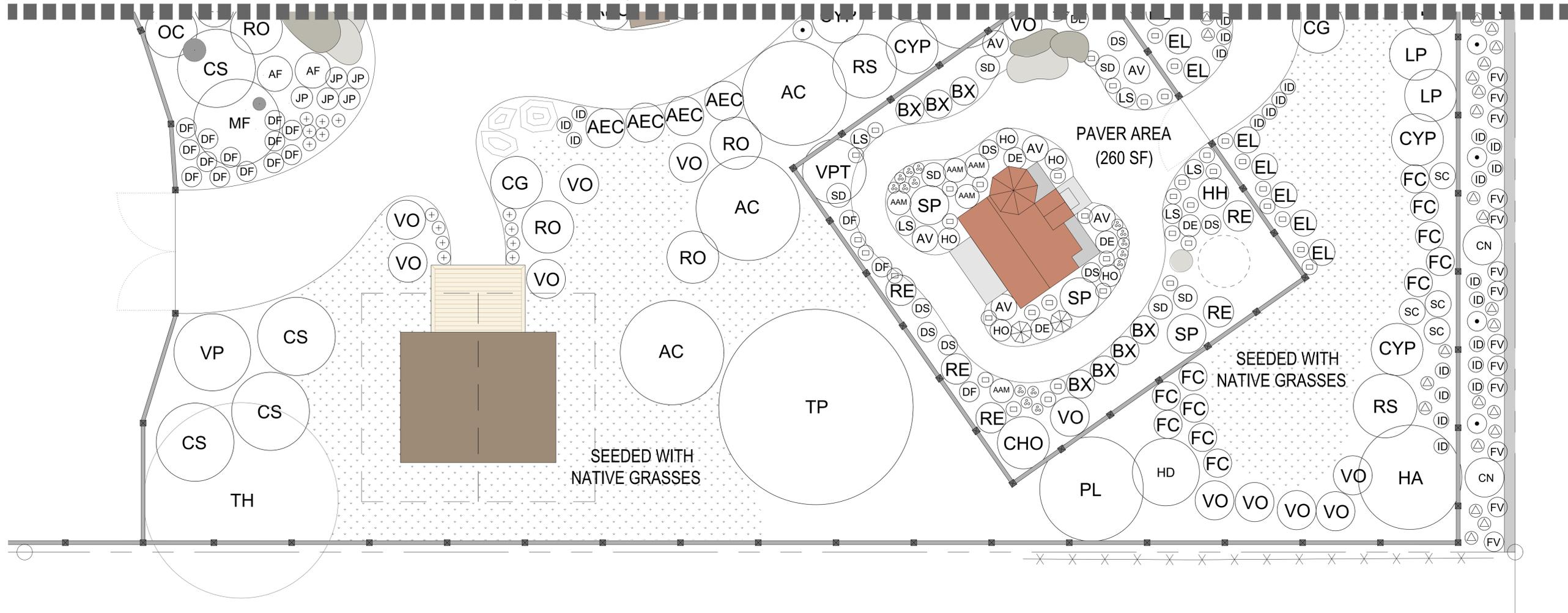
PROJECT NAME:  
**WDH INTERPRETIVE GARDENS**  
FERNDALE, CA  
1338 MAIN STREET - FORTUNA, CA 95540

DATE: 05-21-2020  
DESIGNED BY: JK  
DRAWN BY: EP

SHEET TITLE:  
**PLANTING PLAN**

**L-3.0**

SEE SHEET L-2.0



Scale: 1"=4'-0"



EXTERIOR LIGHTS  
"ARCHITECTURAL  
BRONZE" FINISH



COASTAL  
PRAIRIE  
MEADOW  
GARDEN

RECYCLED  
REDWOOD  
NATURAL  
WEATHERING



ROUGH SAWN RECYCLED  
REDWOOD NATURAL OIL FINISH



BOULDERS  
SELECTED FROM  
LOCAL GEOLOGY



GARDEN UTILITY SHED  
GREEN ROOF  
SUCCULENT BLEND



GARDEN UTILITY SHED  
GREEN ROOF  
SUCCULENT PATTERN



SMOOTH RECYCLED  
REDWOOD NATURAL  
OIL FINISH



CUSTOM HD GALV.  
8X8 POST BASES TYP.  
3 COATS BLACK  
ENAMEL FINISH

SMARTFLOWER SOLAR  
SYSTEM



STORY BOOK LIGHTING  
MICA LAMP  
KNIGHTS WALL LANTERN  
STEEL & IRON BRONZE  
COLOR FINISH  
ORANGE AMBER MICA  
DIFUSSER



WROUGHT IRON FENCING  
SEMI-GLOSS BLACK PAINT FINISH



GARDEN WALLS



COASTAL PRAIRIE  
MEADOW  
GARDEN

PAVESTONE®  
INTERLOCKING  
CONCRETE PAVERS  
"OLD TOWN"  
COLOR BLEND



MATERIAL, LANDSCAPE, & COLOR PALETTE

GRAPHIC SCALE BAR  
MEASURES 1 INCH ON  
FULL SIZE PLANS

REVISIONS:

JULIAN BERG DESIGNS  
ARCHITECTURE & PLANNING  
846 A STREET  
ARCATA, CALIFORNIA, 95521  
TEL: (707) 407-8870  
julianbergdesigns.com



PROJECT TITLE: WDH INTERPRETIVE GARDENS - FERNDALE, CA  
FERNLANDS, LLC • 1338 MAIN STREET • FORTUNA CA, 95540 • TEL: (707) 826-8544

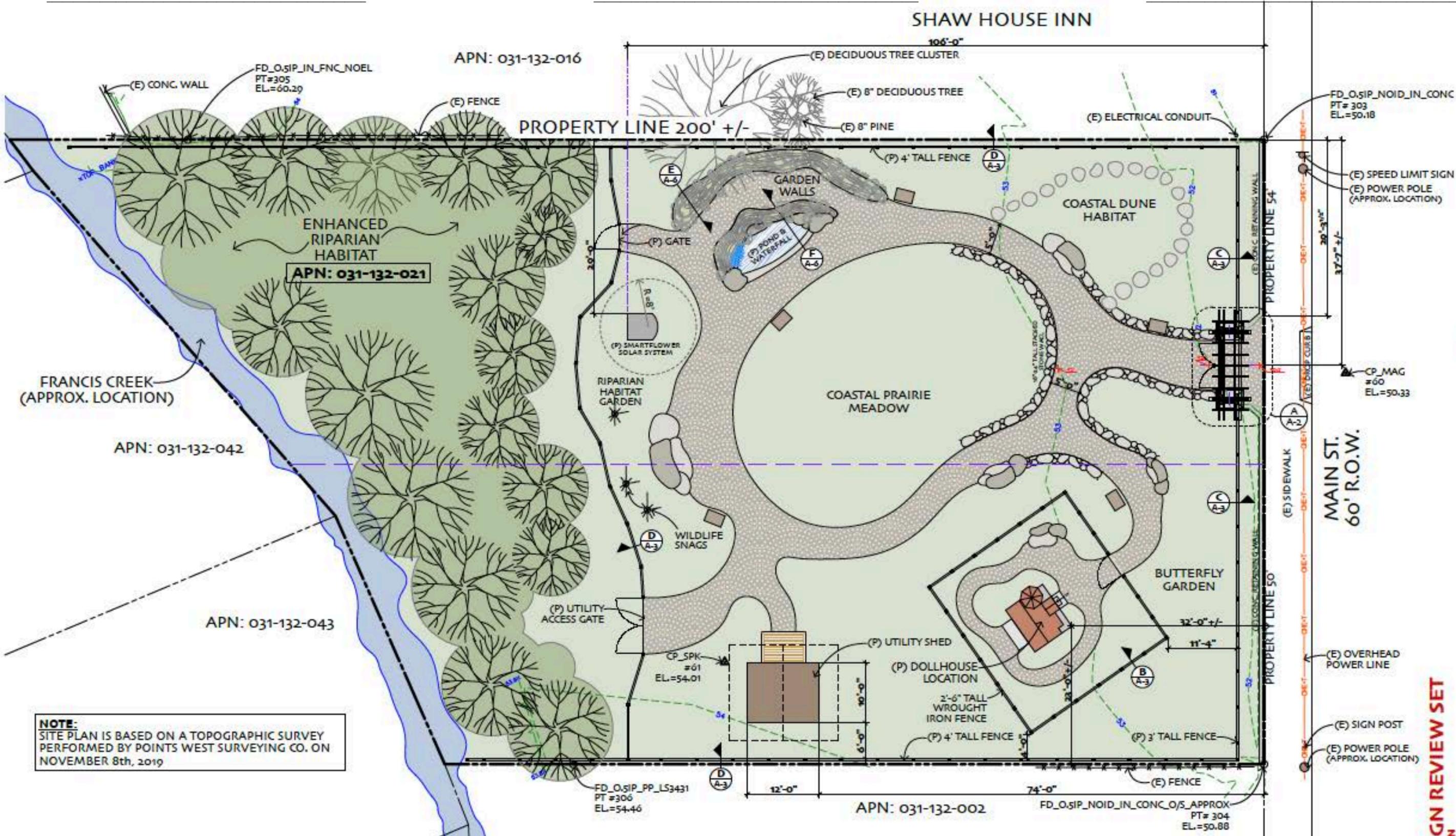
SHEET TITLE: MATERIAL, LANDSCAPE, & COLOR PALETTE  
ASSESSOR'S PARCEL NUMBER : 031-132-021

DRAWN BY:  
JAB/DHV  
DATE:  
6/17/2020

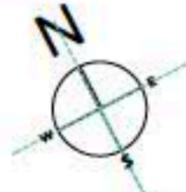
SHEET # :

A-1.2

DESIGN REVIEW SET  
NOT FOR CONSTRUCTION



**NOTE:**  
 SITE PLAN IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED BY POINTS WEST SURVEYING CO. ON NOVEMBER 8th, 2019



**PROPOSED SITE PLAN**

SCALE: 1/8" = 1'-0" (22" X34" PAPER SIZE)  
 1/16" = 1'-0" (11" X17" PAPER SIZE)

GRAPHIC SCALE BAR  
 MEASURES 1 INCH ON FULL SIZE PLANS

REVISIONS:


**JULIAN BERG DESIGNS**  
 ARCHITECTURE & PLANNING  
 846 A STREET  
 ARCATA, CALIFORNIA, 95521  
 TEL: (707) 407-8870  
 julianbergdesigns.com



PROJECT TITLE: WDH INTERPRETIVE GARDENS - FERNDALE, CA  
 FERNLANDS, LLC • 188 MAIN STREET • FORTUNA, CA 95510 • TEL: (707) 846-8944  
 SHEET TITLE: PROPOSED SITE PLAN  
 AS SEER'S PARCEL NUMBER: 031-132-021

DRAWN BY: JAB/DHV  
 DATE: 2/7/2020  
 SHEET #: **A-1**

**DRAFT - DESIGN REVIEW SET**  
 NOT FOR CONSTRUCTION

# **Coastal Prairie Meadow Garden**

## **Typical Flora**

**Red Fescue**

**Tufted Hair Grass**

**Wildflowers: Baby Blue Eyes & Meadow Foam**







# **Coastal Dune Habitat**

## **Typical Flora**

**Primrose**

**Buckwheat**

**Seaside Daisy**







# **Riparian Habitat Garden**

## **Typical Flora**

**Western Columbine in Bloom**

**Red Twig Dogwood**

**Lady Ferns**

**Wild Iris**









# **Butterfly Garden**

## **Typical Flora**

**Monarch & Aster**

**California Poppies**

**Dog Violet**







# **Vertical Fern Garden Walls**

## **View of Humboldt County's Fern Canyon**

### **Example of a Typical Garden Wall**











## **CORRESPONDENCE**

**CITY OF FERNDALE**

POB 1095

FERNDALE, CA 95536

*"A Historic Victorian Village"*

June 11, 2020

Farrell & Meg Nicholes  
475 Berding St  
Ferndale, CA 955369

RE: Design Review Use Permit Application DR2007 (475 Berding St)

This letter is to inform you that your application for a Design Review Use Permit for the construction of a fence has been approved. While Design Review has authority over location and aesthetics of structures, including fences, it is not within its purview to ensure proposed structures comply with all private rights affecting the property, including easements. There was some concern of an easement mentioned during the meeting. Please be aware that it is up to the property owner to maintain any easements and ensure compliance.

The Design Review Committee has also requested a paint swatch be submitted before painting the fence.

If you have any questions regarding this letter, or your application, please feel free to call me Mon-Thurs 9am-4pm at (707)786-4224.

Thank you,

A handwritten signature in blue ink that reads "Kristene Hall". The signature is written in a cursive, flowing style.

Kristene Hall

City Clerk

**COMMITTEE COMMENTS**

**ADJOURN**